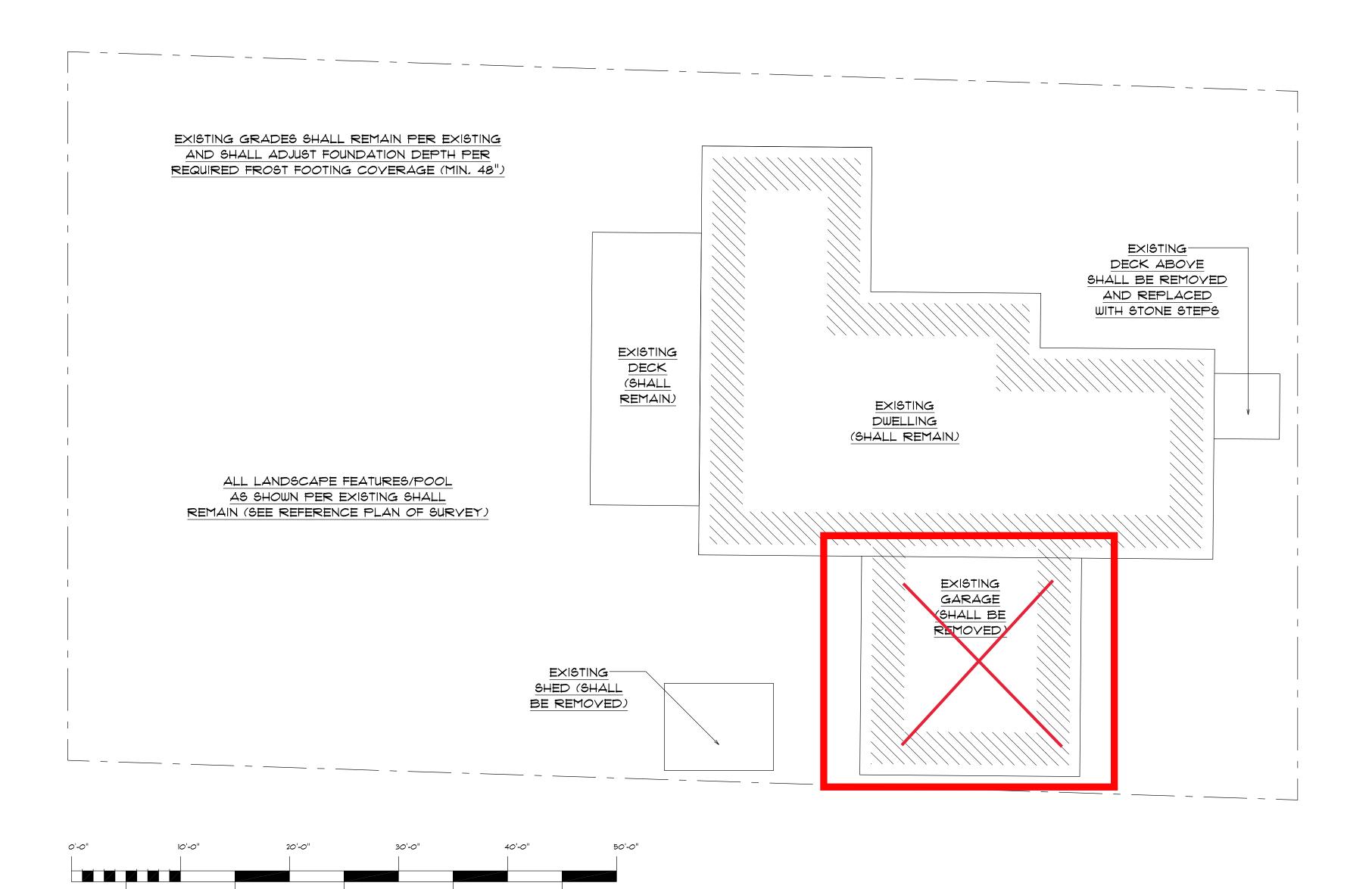
Report INS-2021-041 - Attachment 1

33 Church Street - Site Photos (October 2020)





Report INS-2021-041 Attachment 2



EXISTING SITE CONDITIONS PER REFERENCE PLAN OF SURVEY SHOWING TOPOGRAPHY OF PART OF LOTS 8 & 9 BLOCK 3 -REGISTERED PLAN 216 AS DRAWN BY J.R. FINNIE -PLAN DATED MARCH 22, 2021

25'-0"

35'-O"

45'-0"

15'-0"

5'-0"

BUILDER INFORMATION

DESIGNER INFORMATION D. B.: D. REGIMBAL - B.C.I.N.: 36920 QUALIFICATION: \$MALL BUILDING\$

RDESIGNS, ARCHITECTURAL SERVICES 4 CONSULTING - FIRM B.C.I.N.: 38816

- ⊕ EXHAUST FAN C.O. DETECTOR
- SMOKE DETECTOR
- HALOGEN POT LIGHT



GENERAL NOTES

SECOND FLOOR WALL HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT "
MAIN FLOOR CEILING HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT "
FOUNDATION WALL HEIGHT MATCH EXISTING WITH MIN, 48" FROST PROTECTION "
OUNDATION AND FOOTING SHALL BE TIED INTO EXISTING WITH 3 IS MIL. BARS (IN FOOTING SPACED EVENLY) AND UP FOUNDATION WALL SPACED © 16" VERTICALLY PLACE 1/2" THREADED ANCHOR "J" BOLT IN TOP OF FOUNDATION © 48" O.C. C/W WASHER AND NUT ABOVE SILL GASKET AND PLATE

"CONCRETE SLAB PROPERTIES @ PORCH "
CONC. TO BE @" THICK AND TO BE REINFORCED WITH IOM BARS SPACED
@ 8" O.C. IN BOTH DIRECTIONS - 1" ABOVE AND SUPPORTED WITH STEEL PAN,
AND TO BEAR ON FIND'N WALLS AT PERIMETER OF PORCH AND TO BE ANCHORED
TO THE WALLS WITH 600 × 600 mm IOM BENT DOWELS SPACED @ NOT MORE THAN
24" O.C., CONC. SHALL BE CAST AGAINST FORM WORK IN ACCORDANCE WITH
CANCSS A G30. IS-M, "CONCRETE MATERIALS AND METHODS OF CONCRETE
CONSTRUCTION" AND WITH OBC 9,40,1.4

" ROOF NOTES "
TRUSSES MUST BE HANDLED & INSTALLED ACCORDING TO SPECIFICATIONS
& LAYOUT AS PROVIDED BY TRUSS COMPANY, ALL OVERHANGS TO BE
IS" (GABLE ENDS)/16" (FASCIA EDGE) UNLESS OTHERWISE NOTED
VENT ROOF 1:300

" FLOOR NOTES " ALL CONVENTIONAL FLOOR JOISTS TO HAVE 2X2 CROSSBRIDGING WHERE SPAN OF FLOOR JOISTS IS OVER 6'-II" (9,23,9,4 O.B.C.),

ALLOW MIN, 12"X12" JOIST SPACE IN FRAMING FOR PLUMBING FIXTURES/DRAINS MAX BACKFILL HEIGHT TO BE T'-T"

ALL WINDOWS TO CONFORM TO CAN/CSA A440-M

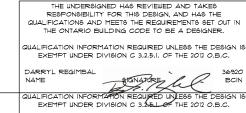
ALL EXTERIOR HANDRAILS 4 GUARDS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ATTACHED 0.B.C. 9 9B - 1

ALL BELL AND CABLE OUTLETS TO HAVE ST'D ELEC. RECEPTACLE DIRECTLY BESIDE

ALL OPENINGS TO BE FRAMED C/W WOOD LINTELS TO BE AT UNDERSIDE OF DOUBLE TOP PLATE

WINDOWS ACTING AS EGRESS FROM BEDROOMS SHALL CONFORM TO OBC 9.9.10. AND SHALL (IF REQUIRED) HAVE WINDOW WELLS THAT CONFORM TO SENTENCE (5) OF THAT SAME SECTION

CO/SMOKE DETECTORS SHALL BE INTERCONNECTED AND SHALL HAVE VISUAL COMPONENT. SHALL BE LOCATED IN COMMON AREA IN HOME, ONE SMOKE DETECTOR SHALL BE LOCATED IN EACH BEDROOM



DRDESIGNS, ARCHITECTURAL SERVICES & CONSULTING 38816

CUSTOM RENOVATIONS

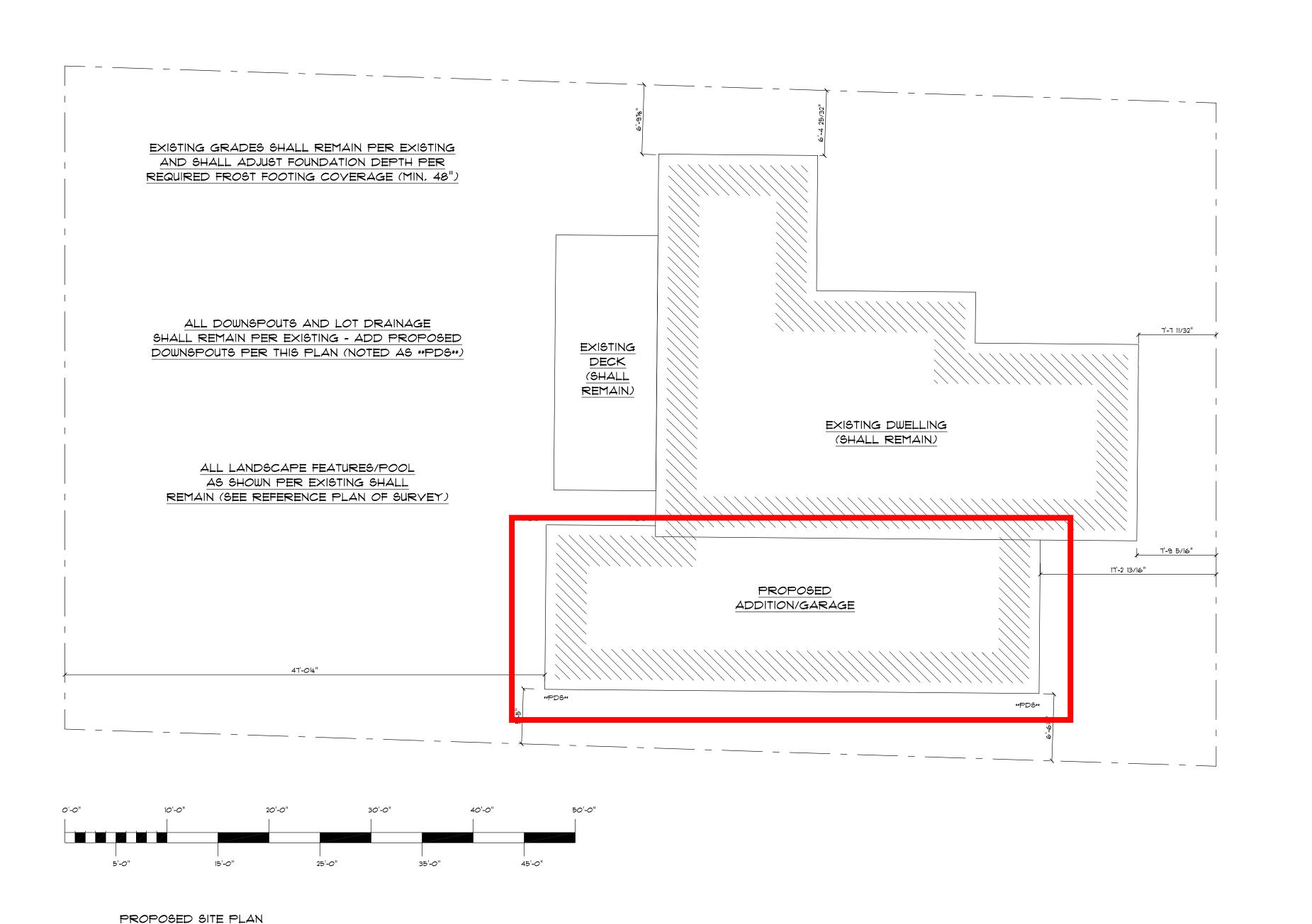
MODEL NAME:
CUSTOM PLAN
LOT:
33 CHURCH STREET ORANGEVILLE, ONTARIO L9W 1N6

DRAWING TITLE:

AS NOTED

DRAWING DATE: MARCH 8, 2021 DRAWING SCALE: D.N.S.

BUILDING INFORMATION TOTAL OF AREA (MAIN) ORIGINAL DUELLING (SHALL REMAIN): 1414 SQ. FT. TOTAL EXISTING GARAGE/RESIDENCE (SHALL BE REMOVED): [661 SQ. FT. TOTAL FINISHED BASEMENT AREA (PROPOSED): TOTAL PROPOSED FINISHED M'N FL'R AREA PROPOSED (GARAGE): 434 (336) SQ. FT. TOTAL FINISHED SECOND FLOOR AREA (PROPOSED): 170 SQ. FT. TOTAL AREA INCLUDES STAIRS/O.T.B. AREA



ORDESIGNS, ARCHITECTURAL SERVICES 4 CONSULTING - FIRM B.C.I.N.: 38816

DESIGNER INFORMATION D. B.: D. REGIMBAL - B.C.I.N.: 36920 QUALIFICATION: \$MALL BUILDING\$

etandard ceiling fixture

by

coach light/wall econce

coach light/wall econce

GENERAL NOTES

HALOGEN POT LIGHT

⊕ E×HAUST FAN C.O. DETECTOR SMOKE DETECTOR

BUILDER INFORMATION

"SECOND FLOOR WALL HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT"
"MAIN FLOOR CEILING HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT"
"FOUNDATION WALL HEIGHT MATCH EXISTING WITH MIN. 48" FROST PROTECTION"
"FOUNDATION AND FOOTING SHALL BE TIED INTO EXISTING WITH 3 IS MILL BARS (IN
FOOTING SPACED EVENLY) AND UP FOUNDATION WALL SPACED © 16" VERTICALLY
PLACE 1/2" INTERADED ANCHOR "J" BOLT IN TOP OF FOUNDATION © 48" O.C. C/W
INDAHER AND NIT AROVES MILL GARKET AND PLATE WASHER AND NUT ABOVE SILL GASKET AND PLATE

"CONCRETE SLAB PROPERTIES & PORCH "
CONC. TO BE 6" THICK AND TO BE REINFORCED WITH IOM BARS SPACED

8 8" O.C. IN BOTH DIRECTIONS - ""ABOVE AND SUPPORTED WITH STEEL PAN,
AND TO BEAR ON FIND'N WALLS AT PERIMETER OF PORCH AND TO BE ANCHORED

TO THE WALLS WITH 600 X 600 mm IOM BENT DOWELS SPACED & NOT MORE THAN
24" O.C. CONC. SHALL BE CAST AGAINST FORM WORK IN ACCORDANCE WITH
CAN/CSA - G30, 18-M, "CONCRETE MATERIALS AND METHODS OF CONCRETE

CONSTRUCTION" AND WITH OBC 9,40.1.4

" ROOF NOTES "
TRUSSES MUST BE HANDLED & INSTALLED ACCORDING TO SPECIFICATIONS
& LAYOUT AS PROVIDED BY TRUSS COMPANY, ALL OVERHANGS TO BE
IS" (GABLE ENDS)/IS" (FASCIA EDGE) UNLESS OTHERWISE NOTED
VENT ROOF 1:300

" FLOOR NOTES "
ALL CONVENTIONAL FLOOR JOISTS TO HAVE 2X2 CROSSBRIDGING WHERE SPAN
OF FLOOR JOISTS IS OVER 6'-11" (9.23.9.4 O.B.C.).

ALLOW MIN, 12"X12" JOIST SPACE IN FRAMING FOR PLUMBING FIXTURES/DRAINS MAX BACKFILL HEIGHT TO BE 1'-1"

ALL WINDOWS TO CONFORM TO CAN/CSA A440-M

ALL EXTERIOR HANDRAILS & GUARDS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ATTACHED O.B.C. 9 SB - 1

ALL BELL AND CABLE OUTLETS TO HAVE ST'D ELEC. RECEPTACLE DIRECTLY

ALL OPENINGS TO BE FRAMED C/W WOOD LINTELS TO BE AT UNDERSIDE OF DOUBLE TOP PLATE

WINDOWS ACTING AS EGRESS FROM BEDROOMS SHALL CONFORM TO OBC 9.9.10. AND SHALL (IF REQUIRED) HAYE WINDOW WELLS THAT CONFORM TO SENTENCE (5) OF THAT SAME SECTION

CO/SMOKE DETECTORS SHALL BE INTERCONNECTED AND SHALL HAVE VIGUAL COMPONENT. SHALL BE LOCATED IN COMMON AREA IN HOME. ONE SMOKE DETECTOR SHALL BE LOCATED IN EACH BEDROOM

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS

EXEMPT UNDER DIVISION C 3.2.5.1. OF THE 2012 O.B.C. DARRYL REGIMBAL
NAME
SIGNATORE
BCIN

GUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS
EXEMPT UNDER DIVISION C 3.5.B.L.of THE 2012 0.B.C.

DRDEŚIGNŚ, ARCHITECTURAL ŚERVICEŚ 4 CONSULTING 38816 FIRM NAME BCIN

CUSTOM RENOVATIONS

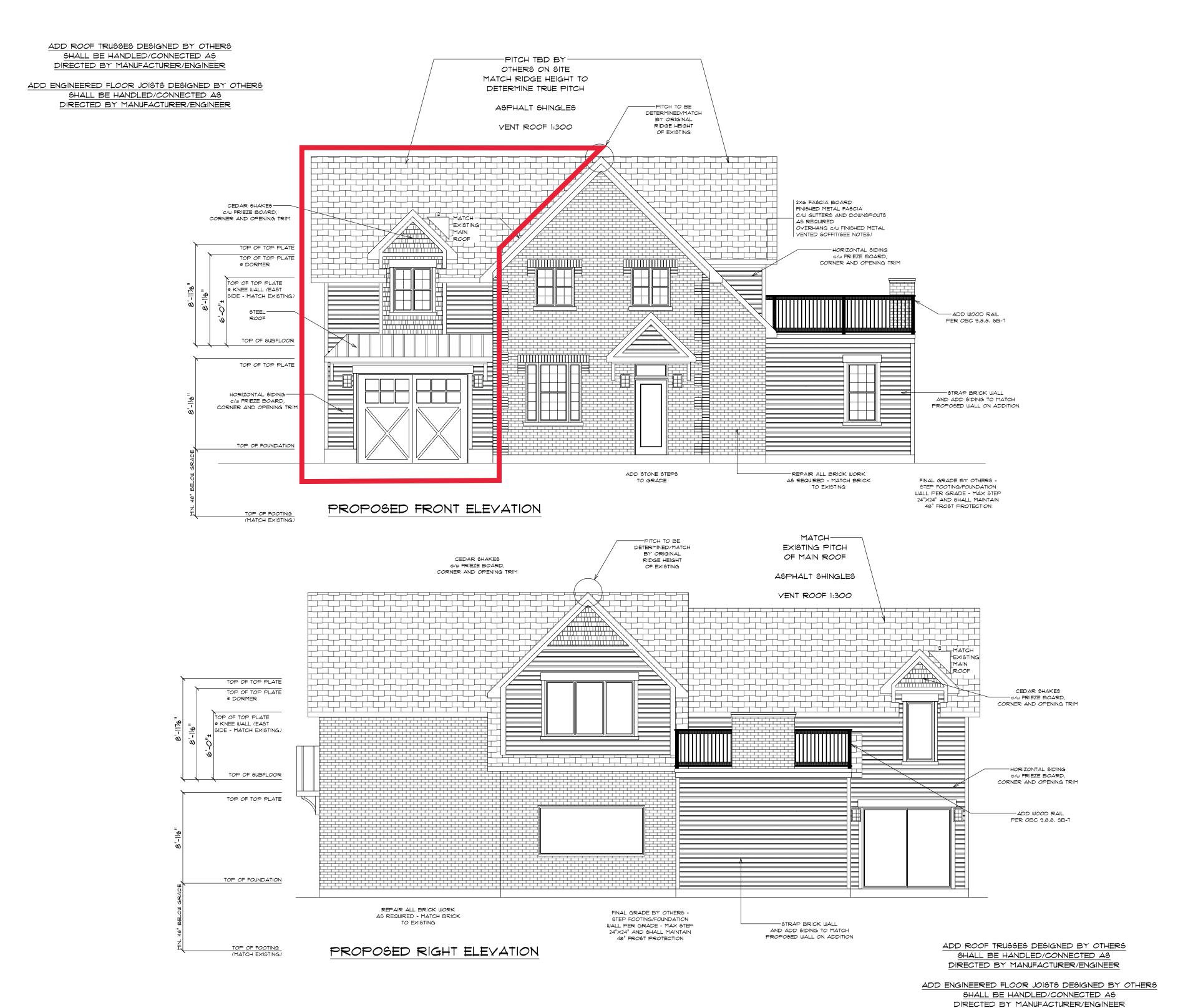
MODEL NAME: CUSTOM PLAN LOT: 33 CHURCH STREET ORANGEVILLE, ONTARIO

L9W 1N6

DRAWING TITLE: AS NOTED DRAWING DATE: MARCH 8, 2021 DRAWING SCALE:

D.N.S.

BUILDING INFORMATION TOTAL OF AREA (MAIN) ORIGINAL DUELLING (6HALL REMAIN): 1414 SQ. FT., TOTAL EXISTING GARAGE/RESIDENCE (6HALL BE REMOVED): 1661 SQ. FT., TOTAL RINISHED BASEMENT AREA (PROPOSED): 1701 A. FROPOSED FINISHED MN FL'R AREA PROPOSED (GARAGE): 434 (336) SQ. FT., TOTAL RINISHED SECOND FLOR AREA (PROPOSED): 170 SQ. FT., TOTAL AREA INCLUDES STAIRS/O.T.B. AREA



BUILDER INFORMATION DESIGNER INFORMATION

> D. B.: D. REGIMBAL - B.C.I.N.: 36920 RDESIGNS, ARCHITECTURAL SERVICES 4 CONSULTING - FIRM B.C.I.N.: 38816

C.O. DETECTOR SMOKE DETECTOR

HALOGEN POT LIGHT



GENERAL NOTES

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SENERAL NOTES

** SECOND FLOOR WALL HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT **

** MAIN FLOOR CEILING HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT **

** FOUNDATION WALL HEIGHT MATCH EXISTING WITH MIN, 48" FROST PROTECTION **

FOUNDATION AND FOOTING SHALL BE TIED INTO EXISTING WITH 3 IS MIL, BARS (IN

FOOTING SPACED EVENLY) AND UP FOUNDATION WALL SPACED © 16" VERTICALLY

PLACE 1/2" THREADED ANCHOR "J" BOLT IN TOP OF FOUNDATION © 48" O.C., c/w

WASHER AND NUT ABOVE SILL GASKET AND PLATE

"CONCRETE SLAB PROPERTIES & PORCH "CONC. TO BE 6" THICK AND TO BE REINFORCED WITH IOM BARS SPACED & B" O.C. IN BOTH DIRECTIONS - 1" ABOVE AND SUPPORTED WITH STEEL PAN, AND TO BEAR ON PHON WALLS AT PERMITER OF PORCH AND TO BE ANCHORED TO THE WALLS WITH 600 X 600 mm IOM BENT DOWELS SPACED & NOT MORE THAN 24" O.C. CONC. SHALL BE CAST AGAINST FORM WORK IN ACCORDANCE WITH CAN/CSA - G3O. IB-M, "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION" AND WITH OBC 9.40.1.4

TRUSSES MUST BE HANDLED & INSTALLED ACCORDING TO SPECIFICATIONS & LAYOUT AS PROVIDED BY TRUSS COMPANY, ALL OVERHANGS TO BE 16" (GABLE ENDS)/16" (FASCIA EDGE) UNLESS OTHERWISE NOTED VENT ROOF 1:300

" FLOOR NOTES "
ALL CONVENTIONAL FLOOR JOISTS TO HAVE 2X2 CROSSBRIDGING WHERE SPAN
OF FLOOR JOISTS IS OVER 6'-11" (9.23,9.4 O.B.C.),

ALLOW MIN. 12"X12" JOIST SPACE IN FRAMING FOR PLUMBING FIXTURES/DRAINS MAX BACKFILL HEIGHT TO BE T'-7"

ALL WINDOWS TO CONFORM TO CAN/CSA A440-M

ALL EXTERIOR HANDRAILS & GUARDS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ATTACHED O.B.C. 9 SB - 1

ALL BELL AND CABLE OUTLETS TO HAVE ST'D ELEC, RECEPTACLE DIRECTLY ALL OPENINGS TO BE FRAMED C/W WOOD LINTELS TO BE AT UNDERSIDE OF

DOUBLE TOP PLATE

WINDOWS ACTING AS EGRESS FROM BEDROOMS SHALL CONFORM TO OBC 9.9.10. AND SHALL (IF REQUIRED) HAVE WINDOW WELLS THAT CONFORM TO SENTENCE (5) OF THAT SAME SECTION

CO/SMOKE DETECTORS SHALL BE INTERCONNECTED AND SHALL HAVE VISUAL COMPONENT. SHALL BE LOCATED IN COMMON AREA IN HOME. ONE SMOKE DETECTOR SHALL BE LOCATED IN EACH BEDROOM

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS

EXEMPT UNDER DIVISION C 3.2.5.1, OF THE 2012 O.B.C. SIGNAPURE) DARRYL REGIMBAL NAME

QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C 3.2.5.1, OF THE 2012 O.B.C.

DRDESIGNS, ARCHITECTURAL SERVICES & CONSULTING 38816
FIRM NAME BCIN

CUSTOM RENOVATIONS

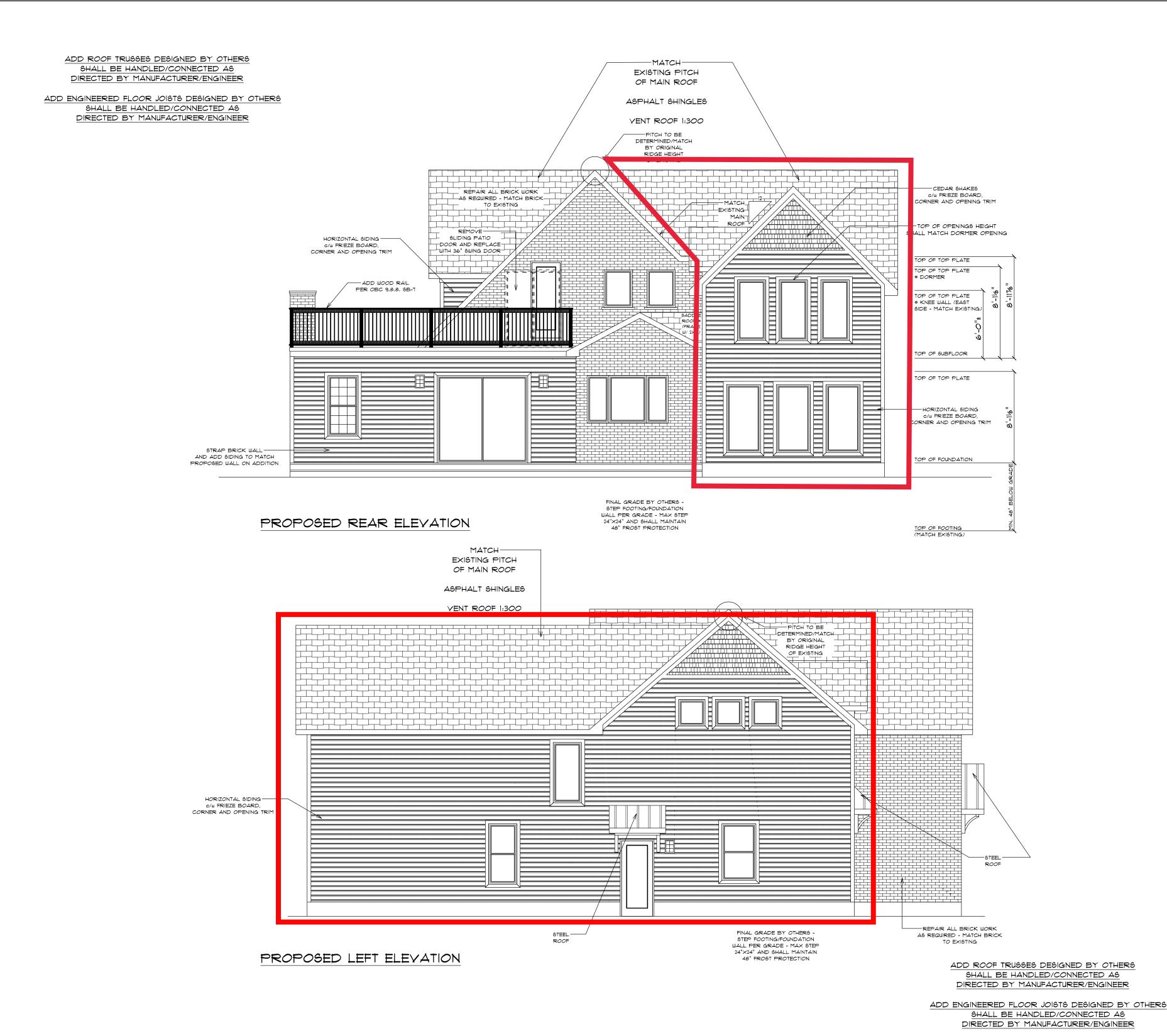
MODEL NAME: CUSTOM PLAN 33 CHURCH STREET ORANGEVILLE, ONTARIO

AS NOTED MARCH 8, 2021 DRAWING SCALE: 3/16" = 1'-0"

L9W IN6 BUILDING INFORMATION

TOTAL OF AREA (MAIN) ORIGINAL DUELLING (SHALL REMAIN):
1414 SQ. F'TOTAL EXISTING GARAGE/RESIDENCE (SHALL BE REMOVED):
1661 SQ. F'TOTAL FINISHED BASEMENT AREA (FROPOSED):
N/ (PROPOSED): N/A
TOTAL, PROPOSED FINISHED M'N FL R AREA
PROPOSED (GARAGE): 434 (336) SQ. FT
TOTAL FINISHED SECOND FLOOR AREA
(PROPOSED): TTO SQ. FT
TOTAL AREA INCLUDES STAIRS/O.T.B. AREA





BUILDER INFORMATION

DESIGNER INFORMATION D. B.: D. REGIMBAL - B.C.I.N.: 36920 PRDESIGNS, ARCHITECTURAL SERVICES 4 CONSULTING - FIRM B.C.I.N.: 38816

⊕ EXHAUST FAN

COACH LIGHT/WALL SCONCE

C.O. DETECTOR

SMOKE DETECTOR HALOGEN POT LIGHT

STANDARD CEILING FIXTURE DRDESIGNS

GENERAL NOTES

"SECOND FLOOR WALL HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT "
"MAIN FLOOR CEILING HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT "
"FOUNDATION WALL HEIGHT MATCH EXISTING WITH MIN. 48" FROST PROTECTION "
FOUNDATION AND FOOTING SHALL BE TIED INTO EXISTING WITH 3 IS MIL. BARS (IN FOOTING SPACED EVENLY) AND UP FOUNDATION WALL SPACED 6 IS" VERTICALLY PLACE 12" THREADED ANCHOR "J" BOLT IN TOP OF FOUNDATION © 48" O.C. C/W JASHER AND NUT ABOVE SILL GASKET AND PLATE

CONCRETE SLAB PROPERTIES @ PORCH "

"CONCRETE 61.4B PROPERTIES © PORCH "
CONC. TO BE 6" THICK AND TO BE REINFORCED WITH IOM BARG SPACED

® 8" O.C. IN BOTH DIRECTIONS - 1" ABOYE AND SUPPORTED WITH STEEL PAN,
AND TO BEAR ON FND'N WALLS AT PERIMETER OF PORCH AND TO BE ANCHORE
TO THE WALLS WITH 600 X 600 mm IOM BENT DOWELS SPACED ® NOT MORE THA
24" O.C. CONC. SHALL BE CAST AGAINST FORM WORK IN ACCORDANCE WITH
CAN/CSA - G30. 18-M, "CONCRETE MATERIALS AND METHODS OF CONCRETE
CONSTRUCTION" AND WITH OBC 9.40.1.4

MAX BACKFILL HEIGHT TO BE T'-T"

TRUSSES MUST BE HANDLED & INSTALLED ACCORDING TO SPECIFICATIONS 4 LAYOUT AS PROVIDED BY TRUIS COMPANY, ALL OVERHANGS 16" (GABLE ENDS)/16" (FASCIA EDGE) UNLESS OTHERWISE NOTED VENT ROOF 1:300

FLOOR NOTES ** ALL CONVENTIONAL FLOOR JOISTS TO HAVE 2X2 CROSSBRIDGING WHERE SPAN OF FLOOR JOISTS IS OVER 6'-11" (9.23,9.4 O.B.C.),

LLOW MIN. 12"X12" JOIST SPACE IN FRAMING FOR PLUMBING FIXTURES/DRAINS

LL WINDOWS TO CONFORM TO CAN/CSA A440-M

ALL EXTERIOR HANDRAILS 4 GUARDS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ATTACHED O.B.C. 9 9B-7

ALL BELL AND CABLE OUTLETS TO HAVE ST'D ELEC. RECEPTACLE DIRECTLY

LL OPENINGS TO BE FRAMED C/W WOOD LINTELS TO BE AT UNDERSIDE OF

NDOWS ACTING AS EGRESS FROM BEDROOMS SHALL CONFORM TO OBC 9.9.10 ND SHALL (IF REQUIRED) HAVE WINDOW WELLS THAT CONFORM TO SENTENCE (5 OF THAT SAME SECTION

CO/SMOKE DETECTORS SHALL BE INTERCONNECTED AND SHALL HAVE VISUAL COMPONENT, SHALL BE LOCATED IN COMMON AREA IN HOME, ONE SMOKE DETECTOR SHALL BE LOCATED IN EACH BEDROOM

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DARRYL REGIMBAL SIGNAPORE QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS

EXEMPT UNDER DIVISION C 3.2.5.1, OF THE 2012 O.B.C.

DRDESIGNS, ARCHITECTURAL SERVICES & CONSULTING 38816 FIRM NAME BCIN

CUSTOM RENOVATIONS

MODEL NAME: CUSTOM PLAN 33 CHURCH STREET

AS NOTED DRAWING DATE: MARCH 8, 2021 DRAWING SCALE: 3/16" = 1'-0"

ORANGEVILLE, ONTARIO L9W IN6 BUILDING INFORMATION

COTAL OF AREA (MAIN) ORIGINAL DUBLLING (6HALL REMAIN): 1414 \$Q. FT. TOTAL EXISTING GARAGE/RESIDENCE (6HALL BE REMOVED): 1661 \$Q. FT. TOTAL FINISHED BASEMENT AREA (PROPOSED): 17074L FROPOSED FINISHED M'N FL'R AREA PROPOSED (GARAGE): 434 (336) \$Q. FT. TOTAL FINISHED SECOND FLOOR AREA (PROPOSED): 17074L FINISHED SECOND FLOOR AREA (PROPOSED): 17074L AREA INCLUDES STAIRS/O.T.B. AREA





BUILDER INFORMATION

DESIGNER INFORMATION D. B.: D. REGIMBAL - B.C.I.N.: 36920 QUALIFICATION: \$MALL BUILDING\$

RDESIGNS, ARCHITECTURAL SERVICES & CONSULTING - FIRM B.C.I.N.; 38816

⊕ EXHAUST FAN C.O. DETECTOR

♦ SMOKE DETECTOR

HALOGEN POT LIGHT



GENERAL NOTES

SENERAL NOTES

** SECOND FLOOR WALL HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT **

** MAIN FLOOR CEILING HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT **

** FOUNDATION WALL HEIGHT MATCH EXISTING WITH MIN. 48" EROST PROTECTION **

FOUNDATION AND FOOTING SHALL BE TIED INTO EXISTING WITH 3 IS MIL. BARS (IN

FOOTING SPACED EVENLY) AND PFOUNDATION WALL SPACED © 16" VERTICALLY

PLACE 1/2" THREADED ANCHOR 'J' BOLT IN TOP OF FOUNDATION © 48" O.C. c/W

WASHER AND NUT ABOVE SILL GASKET AND PLATE

"CONCRETE SLAB PROPERTIES & PORCH "
CONC. TO BE & THICK AND TO BE REINFORCED WITH IOM BARS SPACED

8 8" O.C. IN BOTH DIRECTIONS - 1" ABOVE AND SUPPORTED WITH STEEL PAN,
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24" O.C. CONC. SHALL BE CAST AGAINST FORM WORK IN ACCORDANCE WITH
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VENT ROOF 1:300

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OF FLOOR JOISTS IS OVER 6'-11" (9,23,9,4 O.B.C.).

ALLOW MIN, 12"X12" JOIST SPACE IN FRAMING FOR PLUMBING FIXTURES/DRAINS MAX BACKFILL HEIGHT TO BE 7'-7"

ALL WINDOWS TO CONFORM TO CAN/CSA A440-M

ALL EXTERIOR HANDRAILS 4 GUARDS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ATTACHED O.B.C. 9 5B - 1

ALL BELL AND CABLE OUTLETS TO HAVE ST'D ELEC, RECEPTACLE DIRECTLY BESIDE

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CO/SMOKE DETECTORS SHALL BE INTERCONNECTED AND SHALL HAVE VISUAL COMPONENT, SHALL BE LOCATED IN COMMON AREA IN HOME, ONE SMOKE DETECTOR SHALL BE LOCATED IN EACH BEDROOM

DESIGN LOADS CRITERIA:

THIS CONSTRUCTION DRAWING HAS BEEN DESIGNED WITH THE FOLLOWING SPECIFIED LOADS:

LIVE LOAD DEAD LOA

TOTAL LOAD

ROOF LOAD 2.3 kPa (ORANGEVILLE) 0.7 kPa
3.34 kPa

FLOOR LOAD 1.9 kPa 0.1 kPa
2.6 kPa

DECK LOAD 1.9 kPa 0.1 kPa
2.6 kPa DEAD LOAD

SPECIFIED GROUND SNOW LOAD = 1.665 kPa

CALCULATIONS 9G8 = 0.55 × 2.3 (ORANGEVILLE) + 0.4 9G8 = 1.665 kPa

MINIMUM ALLOWABLE SOIL BEARING CAPACITY 15 kPa (10.9 P.S.I.)

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE

QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS
EXEMPT UNDER DIVISION C 3.2.5.1. OF THE 2012 O.B.C.

DARRYL REGIMBAL
NAME
SIGNATURE
BCIN

QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C 3,2,5,1, OF THE 2012 O.B.C.

DRDESIGNS, ARCHITECTURAL SERVICES & CONSULTING 38816 FIRM NAME BCIN

CUSTOM RENOVATIONS

MODEL NAME:
CUSTOM PLAN
LOT:
33 CHURCH STREET
ORANGEVILLE, ONTARIO
L9W ING

AS NOTED DRAWING DATE: MARCH 8, 2021 DRAWING SCALE:

BUILDING INFORMATION TOTAL PREA (MAIN) ORIGINAL DUBLLING (SHALL REMAIN): 1414 S.Q. FT. TOTAL EXISTING GARAGE/RESIDENCE (SHALL BE REMOVED): 1667 S.Q. FT. TOTAL FINISHED BASEMENT AREA (PROPOSED): N/A TOTAL PROPOSED FINISHED MN FL'R AREA PROPOSED (GARAGE): 434 (336) S.Q. FT. TOTAL FINISHED SCOND FLOOR AREA (PROPOSED): 170 S.Q. FT. TOTAL FINISHED SCOND FLOOR AREA (PROPOSED): 170 S.Q. FT. TOTAL AREA INCLUDES STAIRS/O.T.B. AREA

