


33 Church Street - Site Photos (October 2020)





BUILDER INFORMATION	DESIGNER INFORMATION
D. B. D. RESIMBAL - B.C.I.N. 36920 QUALIFICATION: SMALL BUILDINGS	DRDESIGNS, ARCHITECTURAL SERVICES & CONSULTING - FIRM B.C.I.N. 38816
⊕ EXHAUST FAN ⊙ C.O. DETECTOR ☼ SMOKE DETECTOR ☼ HALOGEN POT LIGHT ☼ STANDARD CEILING FIXTURE ☼ COACH LIGHT/WALL SCONCE	

GENERAL NOTES

" SECOND FLOOR WALL HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT "

" MAIN FLOOR CEILING HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT "

" FOUNDATION WALL HEIGHT MATCH EXISTING WITH MIN. 48" PROBT. PROTECTION "

FOUNDATION AND FOOTING SHALL BE TIED INTO EXISTING WITH 3 #4 BARS (N. FOOTING SPACED EVENLY) AND UP FOUNDATION WALL SPACED # 16" VERTICALLY PLACE 1/2" THREADED ANCHOR, 1/2" BOLT IN TOP OF FOUNDATION # 48" O.C. 6/16 WASHER AND NUT ABOVE SILL GASKET AND PLATE

" CONCRETE SLAB PROPERTIES # PORCH "

CONC. TO BE 6" THICK AND TO BE REINFORCED WITH 10M BARS SPACED # 8" O.C. IN BOTH DIRECTIONS - 1' ABOVE AND SUPPORTED WITH STEEL PAN, AND TO BEAR ON FND'N WALLS AT PERIMETER OF PORCH AND TO BE ANCHORED TO THE WALLS WITH 600 X 600 mm 10M BENT DOUELS SPACED # NOT MORE THAN 24" O.C. CONC. SHALL BE CAST AGAINST FORM WORK IN ACCORDANCE WITH CAN/CSA - 930, 18-M, CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION AND WITH CBC 9.40.1.4

" ROOF NOTES "

TRUSSES MUST BE HANDLED & INSTALLED ACCORDING TO SPECIFICATIONS & LAYOUT AS PROVIDED BY TRUSS COMPANY. ALL OVERHANGS TO BE 16" (GABLE END/1/4" PARGIA EDGE) UNLESS OTHERWISE NOTED

VENT ROOF 1:300

" FLOOR NOTES "

ALL CONVENTIONAL FLOOR JOISTS TO HAVE 2X2 CROSSBRIDGING WHERE SPAN OF FLOOR JOISTS IS OVER 6'-11" (9.23.9.4 O.B.C.).

ALLOW MIN. 12"x12" JOIST SPACE IN FRAMING FOR PLUMBING FIXTURES/DRAINS

MAX BACKFILL HEIGHT TO BE 1'-1"

ALL WINDOWS TO CONFORM TO CAN/CSA A440-M

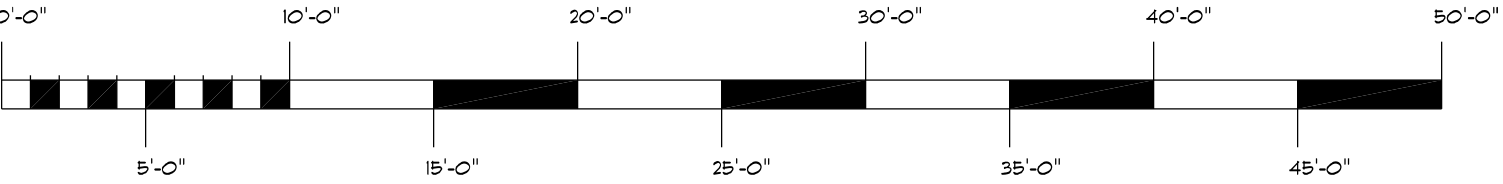
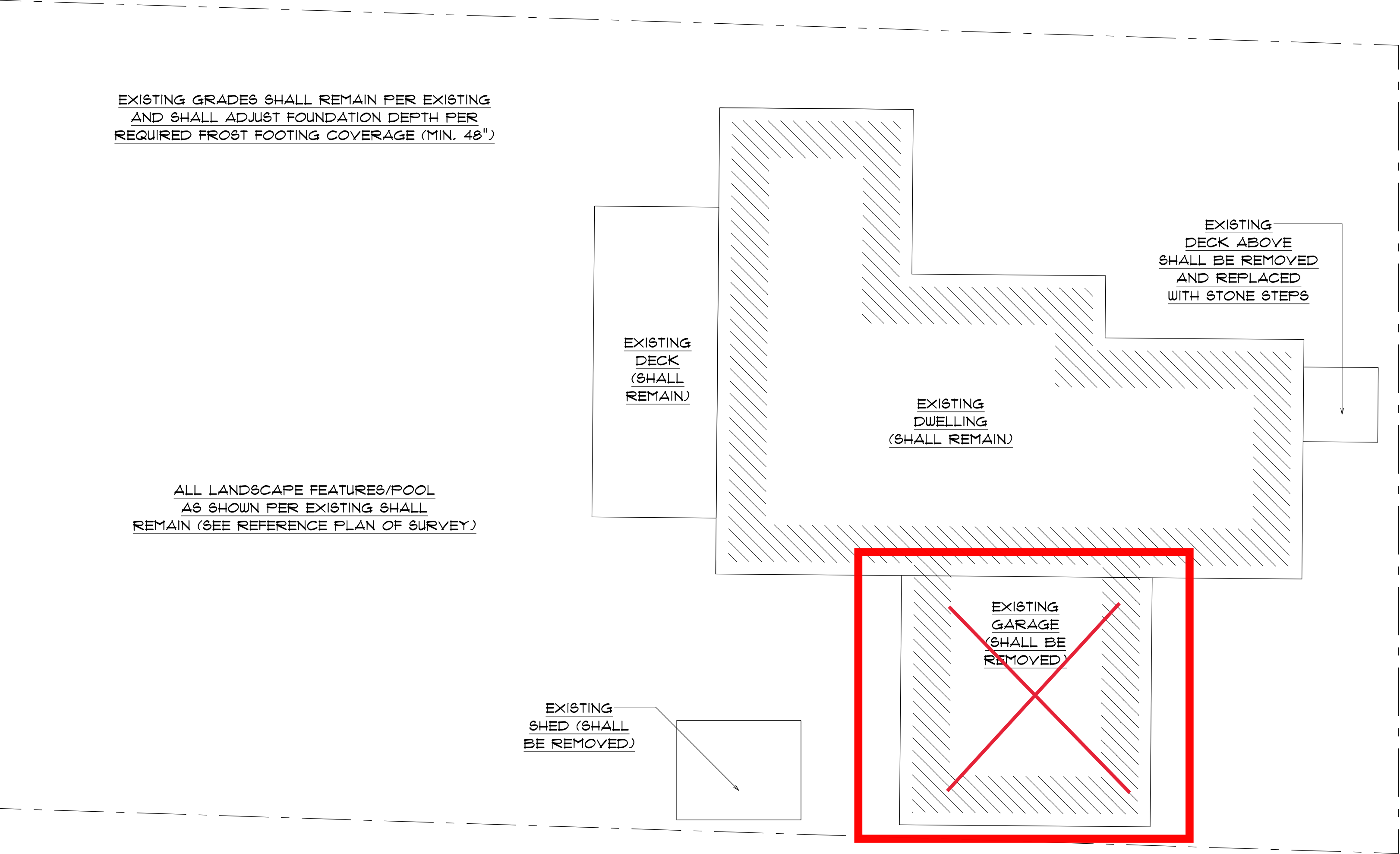
ALL EXTERIOR HANDRAILS & GUARDS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ATTACHED O.B.C. 9.9B - 1

ALL BELL AND CABLE OUTLETS TO HAVE 87D ELEC. RECEPTACLE DIRECTLY BESIDE

ALL OPENINGS TO BE FRAMED 6/16 WOOD LITELS TO BE AT UNDERSIDE OF DOUBLE TOP PLATE

WINDOWS ACTING AS EGRESS FROM BEDROOMS SHALL CONFORM TO CBC 9.9.10, AND SHALL (IF REQUIRED) HAVE WINDOW WELLS THAT CONFORM TO SENTENCE (5) OF THAT SAME SECTION

CO/SMOKE DETECTORS SHALL BE INTERCONNECTED AND SHALL HAVE VISUAL COMPONENT. SHALL BE LOCATED IN COMMON AREA IN HOME. ONE SMOKE DETECTOR SHALL BE LOCATED IN EACH BEDROOM



EXISTING SITE CONDITIONS PER REFERENCE PLAN OF SURVEY  
SHOWING TOPOGRAPHY OF PART OF LOTS 8 & 9 BLOCK 3 -  
REGISTERED PLAN 216 AS DRAWN BY J.R. FINNIE -  
PLAN DATED MARCH 22, 2021

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.	
QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C 3.2.5.1. OF THE 2012 O.B.C.	
DARRYL RESIMBAL NAME	36920 BCIN
QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C 3.2.5.1. OF THE 2012 O.B.C.	
DRDESIGNS, ARCHITECTURAL SERVICES & CONSULTING FIRM NAME	38816 BCIN

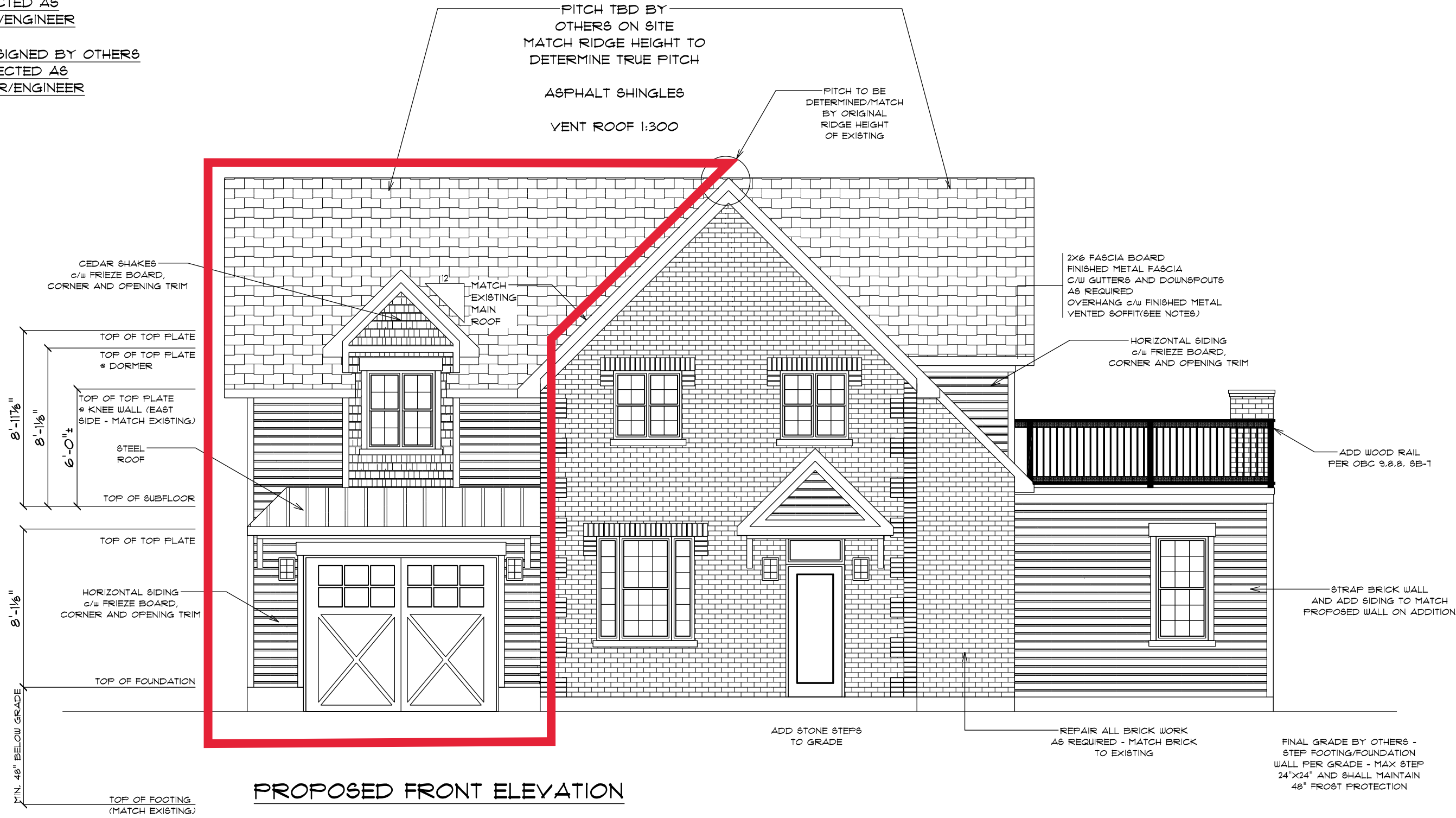
CUSTOM RENOVATIONS	
MODEL NAME: CUSTOM PLAN LOT: 33 CHURCH STREET ORANGEVILLE, ONTARIO L9W 1N6	DRAWING TITLE: AS NOTED DRAWING DATE: MARCH 8, 2021 DRAWING SCALE: D.N.S.
BUILDING INFORMATION	
TOTAL OF AREA (MAIN) ORIGINAL DWELLING (SHALL REMAIN): 1414 SQ. FT. TOTAL EXISTING GARAGE/RESIDENCE (SHALL BE REMOVED): 1661 SQ. FT. (PROPOSED): N/A TOTAL PROPOSED FINISHED MAIN FLOOR AREA (PROPOSED) (GARAGE): 424 (336) SQ. FT. TOTAL FINISHED SECOND FLOOR AREA (PROPOSED): 110 SQ. FT. TOTAL AREA INCLUDES STAIRS/O.T.B. AREA	



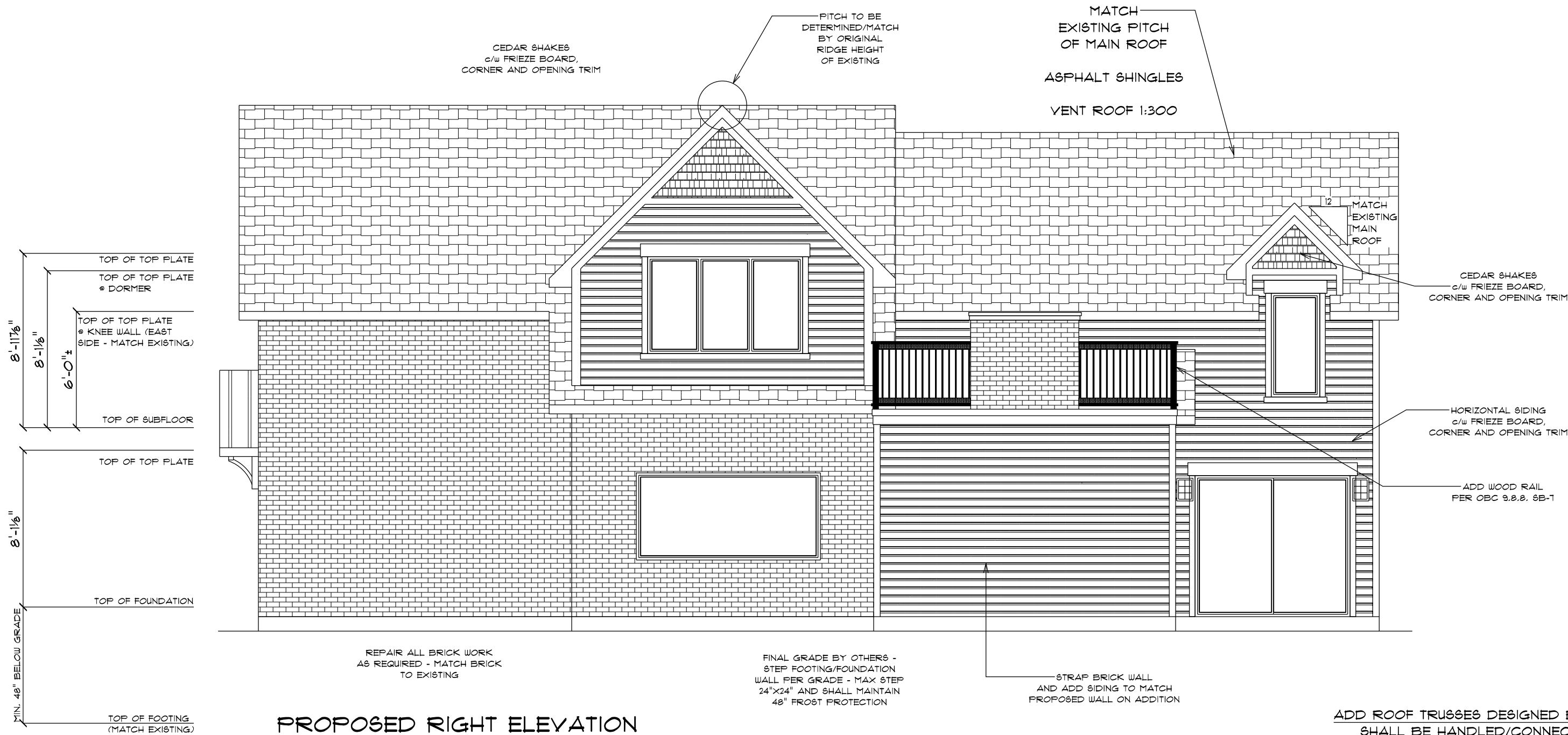
# S.2

ADD ROOF TRUSSES DESIGNED BY OTHERS  
SHALL BE HANDLED/CONNECTED AS  
DIRECTED BY MANUFACTURER/ENGINEER

ADD ENGINEERED FLOOR JOISTS DESIGNED BY OTHERS  
SHALL BE HANDLED/CONNECTED AS  
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PROPOSED FRONT ELEVATION



PROPOSED RIGHT ELEVATION

ADD ROOF TRUSSES DESIGNED BY OTHERS  
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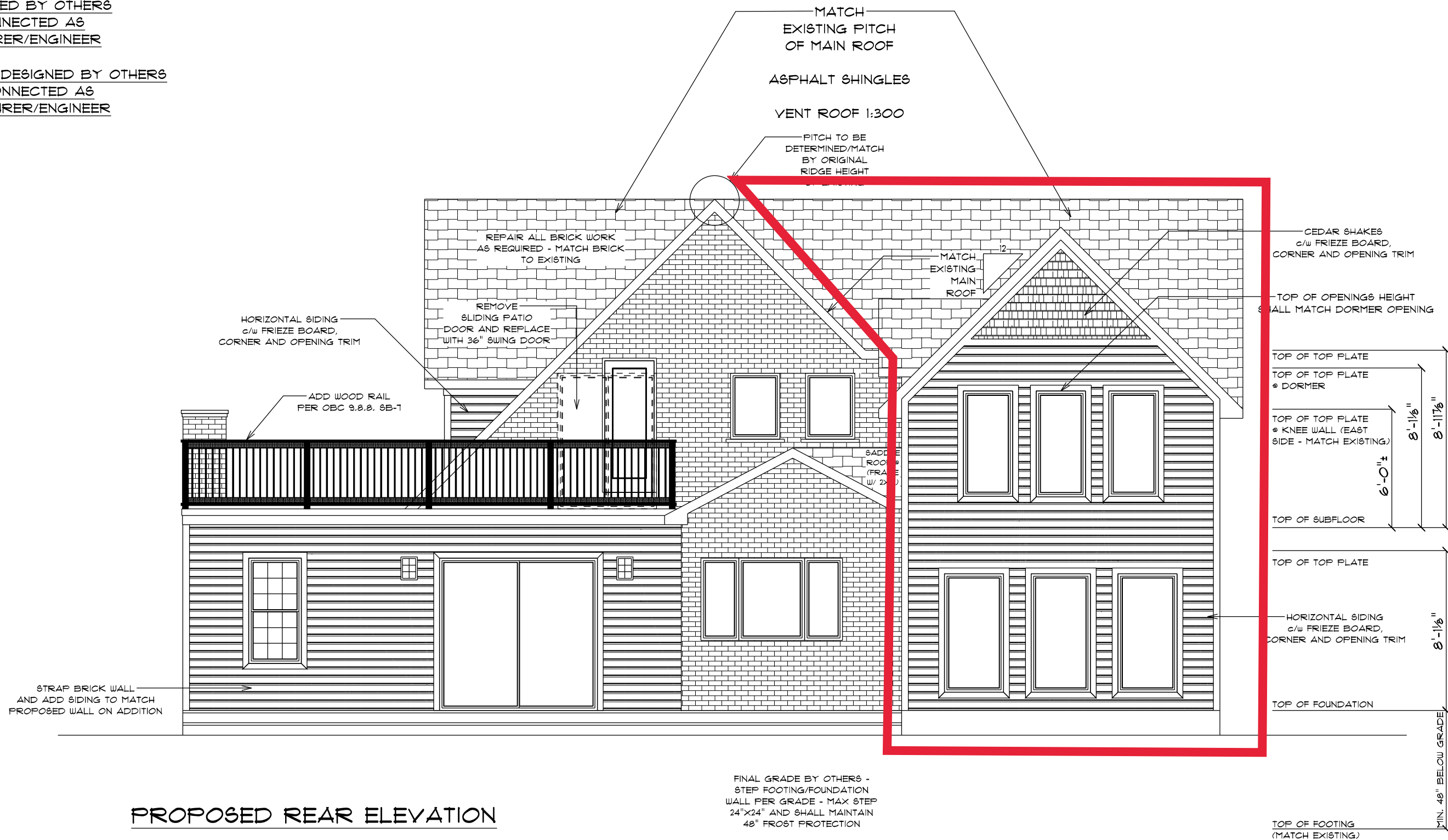
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BUILDER INFORMATION		DESIGNER INFORMATION			
		D. B. D. REGIMBAL - B.C.I.N. 36920 QUALIFICATION: SMALL BUILDINGS			
		ORDDESIGNS, ARCHITECTURAL SERVICES & CONSULTING 4 CONSULTING - FIRM B.C.I.N. 38816			
<b>GENERAL NOTES</b> * SECOND FLOOR WALL HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT * * MAIN FLOOR CEILING HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT * * FOUNDATION WALL HEIGHT MATCH EXISTING WITH MIN. 48" FROST PROTECTION * * FOUNDATION AND FOOTING SHALL BE TIED INTO EXISTING WITH 3 #5 BARS (IN FOOTING SPACED EVENLY) AND UP FOUNDATION WALL SPACED # 16" VERTICALLY PLACE 1/2" THREADED ANCHOR 1/2" BOLT IN TOP OF FOUNDATION # 48" O.C. c/w WASHER AND NUT ABOVE SILL GASKET AND PLATE * CONCRETE SLAB PROPERTIES * PORCH * CONC. TO BE 6" THICK AND TO BE REINFORCED WITH 10M BARS SPACED # 8" O.C. IN BOTH DIRECTIONS - 1" ABOVE AND SUPPORTED WITH STEEL PAN, AND TO BEAR ON FNDN WALLS AT PERIMETER OF PORCH AND TO BE ANCHORED TO THE WALLS WITH 600 X 600 mm 10M BENT DOUBLS SPACED # NOT MORE THAN 24" O.C. CONC. SHALL BE CAST AGAINST FORM WORK IN ACCORDANCE WITH CAN/CSA - G30.18-M, "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION" AND WITH CBC 9.40.1.4 * ROOF NOTES * TRUSSES MUST BE HANDLED & INSTALLED ACCORDING TO SPECIFICATIONS & LAYOUT AS PROVIDED BY TRUSS COMPANY. ALL OVERHANGS TO BE 16" (GABLE ENDS/8" (FASCIA EDGE) UNLESS OTHERWISE NOTED VENT ROOF 1:300 * FLOOR NOTES * ALL CONVENTIONAL FLOOR JOISTS TO HAVE 2X2 CROSSBRIDGING WHERE SPAN OF FLOOR JOISTS IS OVER 6'4" (9.23.3.4 O.B.C.). ALLOW MIN. 2"x2" JOIST SPACE IN FRAMING FOR PLUMBING FIXTURES/DRAINS MAX BACKFILL HEIGHT TO BE 1'-1" ALL WINDOWS TO CONFORM TO CAN/CSA A440-M ALL EXTERIOR HANDRAILS & GUARDS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ATTACHED O.B.C. 9.8B - 1 ALL BELL AND CABLE OUTLETS TO HAVE STD. ELEC. RECEPTACLE DIRECTLY BESIDE ALL OPENINGS TO BE FRAMED c/w WOOD LINTELS TO BE AT UNDERSIDE OF DOUBLE TOP PLATE WINDOWS ACTING AS EGRESS FROM BEDROOMS SHALL CONFORM TO CBC 9.9.10. AND SHALL (IF REQUIRED) HAVE WINDOW WELLS THAT CONFORM TO SENTENCE (9) OF THAT SAME SECTION CO/SMOKE DETECTORS SHALL BE INTERCONNECTED AND SHALL HAVE VISUAL COMPONENT. SHALL BE LOCATED IN COMMON AREA IN HOME. ONE SMOKE DETECTOR SHALL BE LOCATED IN EACH BEDROOM					
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<b>CUSTOM RENOVATIONS</b>					
MODEL NAME: CUSTOM PLAN LOT: 33 CHURCH STREET ORANGEVILLE, ONTARIO L9W 1N6		DRAWING TITLE: AS NOTED DRAWING DATE: MARCH 8, 2021 DRAWING SCALE: 3/16" = 1'-0"			
<b>BUILDING INFORMATION</b> TOTAL OF AREA (MAIN) ORIGINAL DWELLING (SHALL REMAIN): 1414 SQ. FT. TOTAL EXISTING GARAGE/RESIDENCE (SHALL BE REMOVED): 1661 SQ. FT. TOTAL FINISHED BASEMENT AREA (PROPOSED): N/A TOTAL PROPOSED FINISHED MN. FLR. AREA (PROPOSED GARAGE): 434 (336) SQ. FT. TOTAL FINISHED SECOND FLOOR AREA (PROPOSED): TTD SQ. FT. TOTAL AREA INCLUDES STAIRS/O.T.B. AREA					

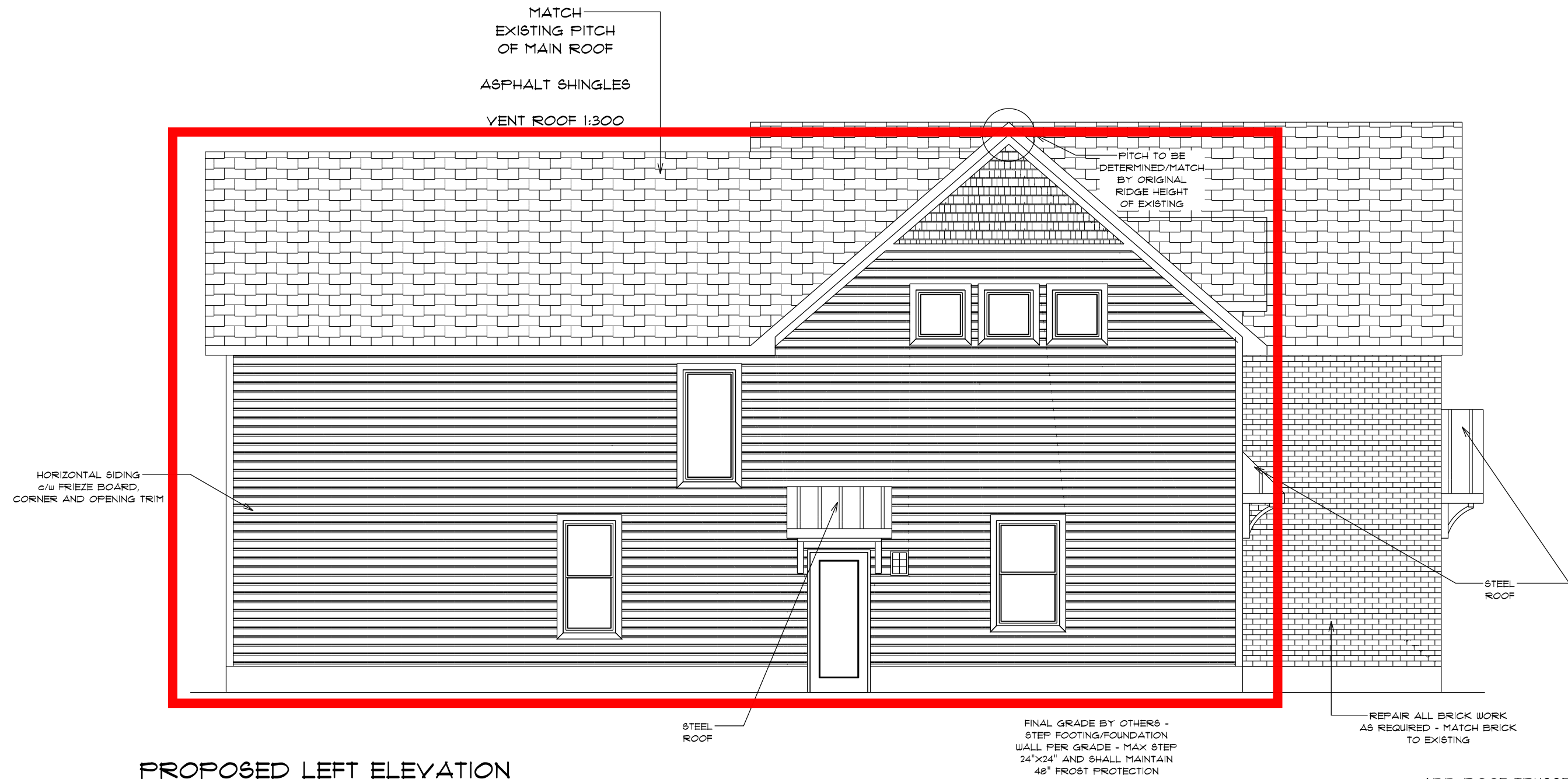


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PROPOSED REAR ELEVATION



PROPOSED LEFT ELEVATION

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**GENERAL NOTES**

SECOND FLOOR WALL HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT

MAIN FLOOR CEILING HEIGHT SHALL MATCH EXISTING/AS NOTED THROUGHOUT

FOUNDATION WALL HEIGHT MATCH EXISTING WITH MIN. 48" FROST PROTECTION

FOUNDATION AND FOOTING SHALL BE TIED INTO EXISTING WITH 3 16 MIL BARS (IN FOOTING SPACED EVERY 17" AND UP FOUNDATION WALL SPACED 16" VERTICALLY PLACE 1/2" THREADED ANCHOR 1/2" BOLT IN TOP OF FOUNDATION 48" O.C. c/w WASHER AND NUT ABOVE SILL GASKET AND PLATE

CONCRETE SLAB PROPERTIES 4" PORCH

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VENT ROOF 1:300

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ALL WINDOWS TO CONFORM TO CAN/CSA A440-M

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DARRYL REGIMBAL 36920  
NAME SIGNATURE BCIN

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DRDESIGNS, ARCHITECTURAL SERVICES & CONSULTING 38816  
FIRM NAME BCIN

CUSTOM RENOVATIONS		
MODEL NAME: CUSTOM PLAN	AS NOTED	DRAWING TITLE
LOT: 33 CHURCH STREET ORANGEVILLE, ONTARIO L9W 1N6	DRAWING DATE: MARCH 8, 2021	DRAWING SCALE: 3/16" = 1'-0"
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TOTAL FINISHED BASEMENT AREA (PROPOSED): N/A		
TOTAL PROPOSED FINISHED FIN. FLR. AREA (PROPOSED) (GARAGE): 434 (336) SQ. FT.		
TOTAL FINISHED SECOND FLOOR AREA (PROPOSED): TTD SQ. FT.		
TOTAL AREA INCLUDES STAIRS/O.T.B. AREA		

A.6



