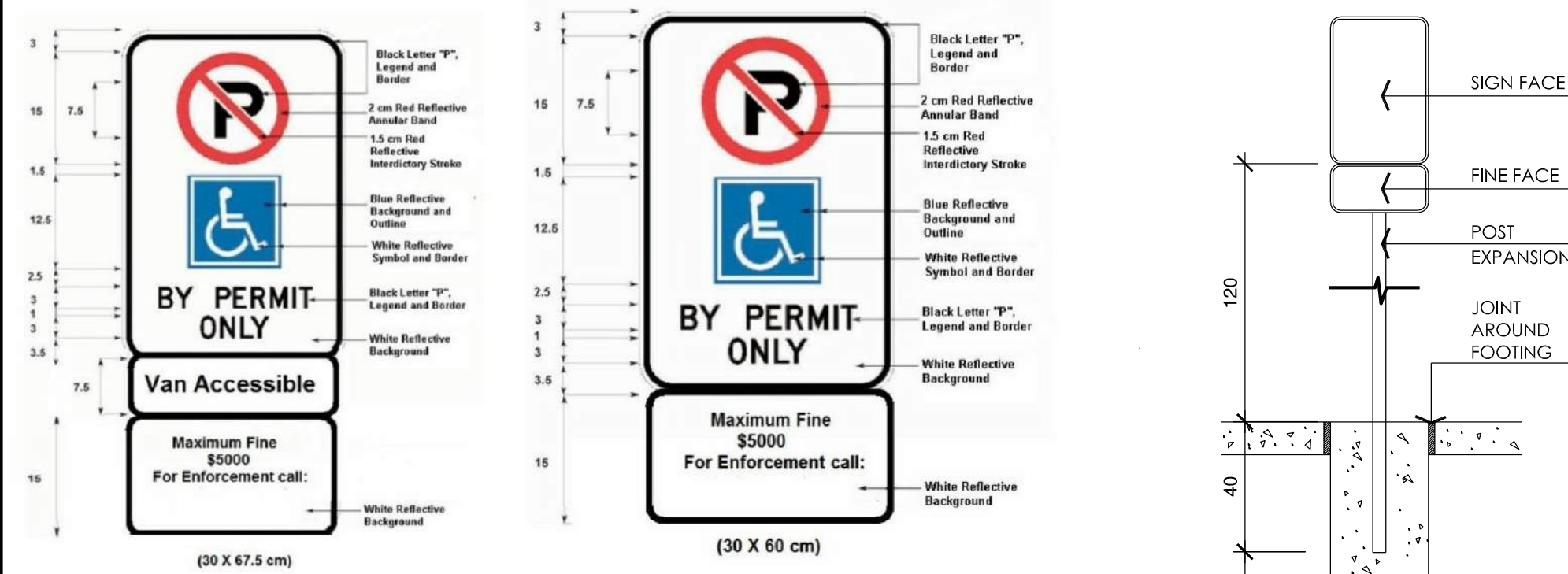


ZONING TABLE			
ZONE CBD - CENTRAL BUSINESS DISTRICT			
	REQUIRED	PROPOSED	COMPLIANCE
1. MINIMUM LOT AREA	NIL	235.0 m <sup>2</sup>	YES
2. MINIMUM LOT FRONTAGE	NIL	6.86 m	YES
3. MINIMUM FRONT YARD	NIL	6.0 m	YES
4. MINIMUM EXTERIOR SIDE YARD	NIL	N/A	
5. MINIMUM SIDE YARD			
- ABUTTING A RESIDENTIAL ZONE	4.5 m	0.2m & 0.18m	YES
- ABUTTING OTHER ZONES	NIL		
6. MINIMUM REAR YARD	7.5m	8.11 m	YES
PERMITTED ENCROACHMENT (FIRE ESCAPE): 1.2 metres	6.3 m	< 6.3 m	NO
7. MAXIMUM BUILDING HEIGHT (S.P. 24.148)	23.0 m	<12 m	YES
	12.0 m		
8. MAXIMUM COVERAGE	75%	59 % [138.98 m <sup>2</sup> ]	YES
PARKING - 2 DWELLING UNIT - 2 p.s. - RETAIL/COMMERCIAL USE (67 m <sup>2</sup> ) - 1 p.s.	3	4	YES
LOADING SPACES	0	1	YES
BARRIER FREE PARKING SPACES	1	1	YES
LANDSCAPED STRIP IN FRONT YARD	3 m	1.5 m	NO

PARKING/LOADING CALCULATIONS			
ZONE CBD - CENTRAL BUSINESS DISTRICT			
	ZONING	REQUIRED	PROVIDED
LOADING SPACE	0 SPACE REQUIRED	0 SPACE REQUIRED	1 SPACE
RETAIL/COMMERCIAL	1 SPACE PER 20m <sup>2</sup>	1 SPACE [67m <sup>2</sup> ]	2 SPACES
Within that area identified on Schedule A to this By-law as the Central Business District (CBD) Zone, parking shall be required at a level of one half of that required in all other areas for all uses, except that additional dwelling units shall require 1 parking space for each new unit.			
CBD ZONE EXCEPTION			
RESIDENTIAL	1 SPACE PER UNIT	2 SPACES	2 SPACES
TOTAL SPACES REQUIRED			3 SPACES
TOTAL SPACES PROVIDED			4 SPACES

## Report No. INS-2021-027 - Attachment 1



### TYPE A

### TYPE B

#### 1-SIGN FACE

#### BARRIER FREE PARKING SIGNAGE REQUIREMENTS

- ALL HANDICAPPED PARKING STALLS SHALL BE DESIGNATED BY SIGNAGE AS PER BY-LAW
- ONE SIGN PER BAY IS REQUIRED UNLESS A ROW OF SEVERAL BAYS IS PROVIDED IN WHICH CASE, A SIGN AT EACH END OF THE ROW WITH APPROPRIATE DIRECTIONAL ARROWS AS PER DRAWING 3 - SIGN LOCATION FOR
- MULTIPLE PARKING STALLS IS ACCEPTABLE, THE REQUIRED SIGN(S) MUST BE MOUNTED AT LEAST 0.6m AND NOT MORE THAN 2.0m FROM THE FACE OF THE CURB AT A HEIGHT OF 1.2m ABOVE THE TOP OF CURB ELEVATION. SIGNS MUST NOT OBSTRUCT THE SIDEWALK.
- WHERE AN UNOBSTRUCTED BUILDING FACE IS LOCATION NO MORE THAN 2.0m FROM THE FACE OF THE CURB AT THE HANDICAPPED BAY, THE REQUIRED SIGN(S) MAY BE MOUNTED ON THE BUILDING FACE.

#### POST

- 75mm DIAMETER GALVANIZED STANDARD STEEL PIPE, POST TO BE CAST IN PLACE IN 300mm DIAMETER CONCRETE FOOTING, OR
- REBOUNDING SIGN POST MOUNTED ON CURB. MANUFACTURE: IMPACT RECOVERY (<http://www.impactrecovery.com/>) STYLE: Sta-Rite Sign Posts. SIGN MOUNTING HEIGHT & SIGN AS PER TOWN ACCESSIBILITY STANDARDS

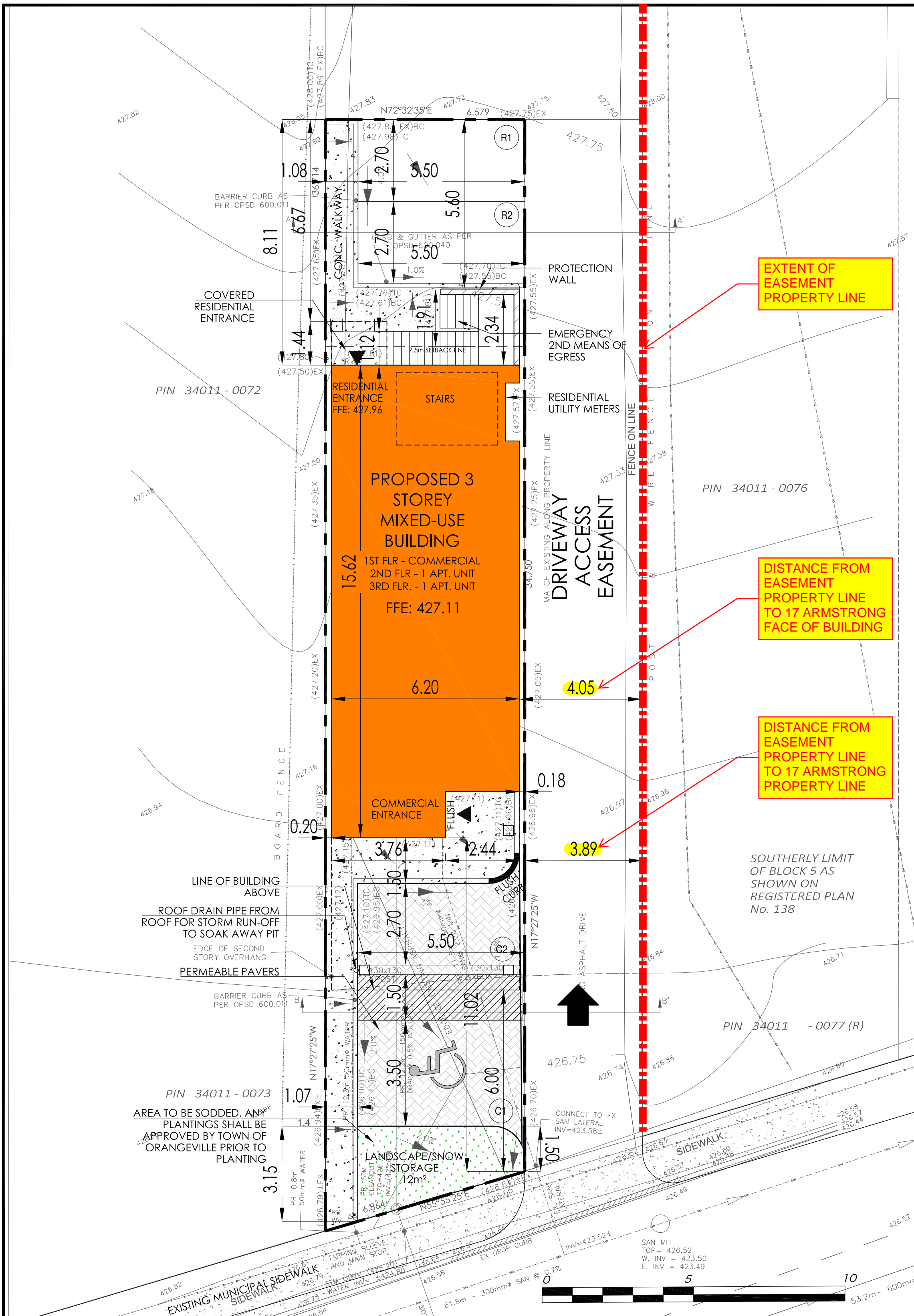
#### 2-MOUNTING DETAIL

#### SIGN FACE

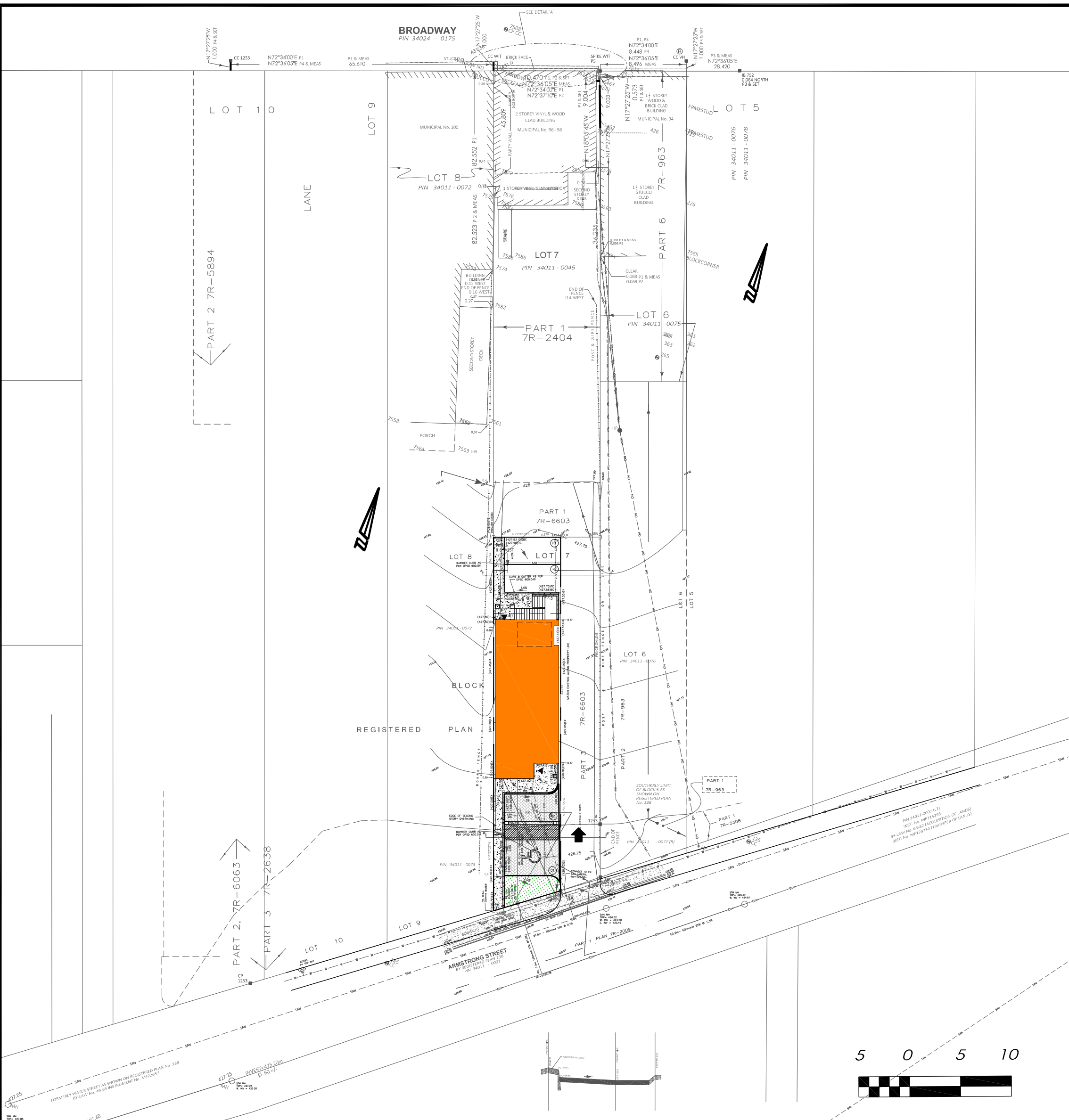
- 0.064 GAUGE ALUMINUM SIGN
- BLANK WHITE BACKGROUND
- HOLES-METRO PUNCH

#### MOUNTING

- THE SIGN FACE MUST BE SECURED TO A POST WITH TWO GALVANIZED 12mm HEX HEAD BOLTS AND NUTS WITH FLAT WASHERS ON BOTH SIDES.
- TO A MASONRY BUILDING FACE WITH TWO GALVANIZED 50mm LONG 6mm DIAMETER HEX-HEAD LAG BOLTS WITH FLAT WASHERS IN LEAD SHIELD MASONRY ANCHORS.
- TO A METAL BUILDING FACE WHERE THE MINIMUM METAL THICKNESS IS 2mm WITH TWO #10 PLATED, SELF-TAPPING SHEET-METAL SCREWS WITH FLAT WASHERS.



② ENLARGED SITE PLAN AT SEVERED LOT 1:100



① OVERALL SITE PLAN AT SEVERED LOT 1:350

## SITE PLAN APPLICATION NUMBER

SP 2/20

PLAN OF SURVEY OF  
**PART OF LOT 7  
BLOCK 5  
AND  
PART OF UNNUMBERED LOT  
IN REAR OF LOTS 6-9  
(AKA LOT B)  
REGISTERED PLAN 138  
TOWN OF ORANGEVILLE  
COUNTY OF DUFFERIN**



KEY PLAN  
N.T.S.

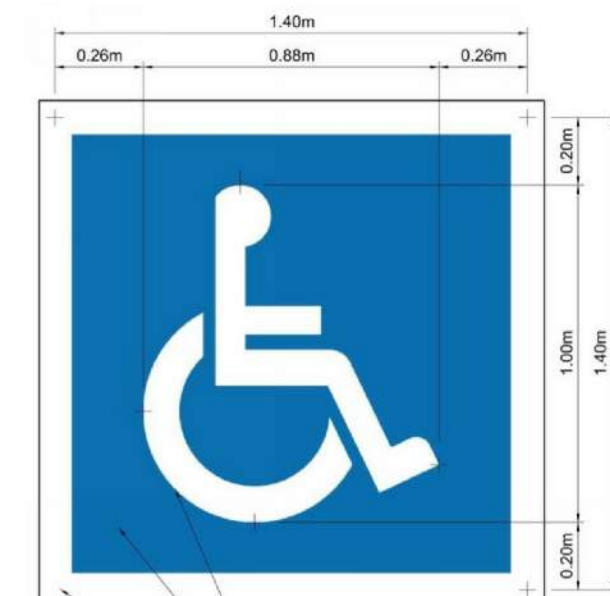
NOTE:

#### GENERAL NOTES:

- ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOULEVARD AREAS DISTURBED BY THE CONSTRUCTION MUST BE REINSTATED TO THE SATISFACTION OF THE TOWN.
- UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.
- THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE OR DISTURBANCE DURING CONSTRUCTION.
- ALL BARRIER FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.
- ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT DISTRIBUTION AS THE PROPERTY LINE.
- ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
- ALL CONDENSING UNITS TO BE SCREENED ON THE ROOF.
- SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
- WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.
- EXCESS SNOW WILL BE REMOVED BY PRIVATE HAULER SUBJECT TO DEMAND FOR PARKING.
- BUILDER TO CONTACT ORANGEVILLE HYDRO TO DISCUSS SERVICING OPTIONS, BUILDING TO MEET CLEARANCE REQUIREMENTS FROM EXISTING ABOVE GROUND ELECTRICAL INFRASTRUCTURE. DEVELOPMENT TO MEET SECTION OBC 3.1.19.1 CLEARANCES TO BUILDINGS

REFER TO SITE SERVICING & GRADING PLAN PREPARED BY VAN HARTEN FOR ADDITIONAL INFO

LED SIGNAGE  
- NO LIGHT SPILL IS PERMITTED ON PROPERTY  
- ALL LED SIGNAGE SUBJECT TO SITE PLAN/LIGHTING PLAN REVIEW.



- RECOMMENDED LINE WIDTH FOR MARKINGS IS 10 CM
- ALL PAVEMENT MARKINGS TO BE SLIP RESISTANT PAINT

## PROJECT NAME

**96-98  
BROADWAY**

## PROJECT ADDRESS

**96-98 BROADWAY,  
ORANGEVILLE, ON**

## CLIENT

**ROBBIE MAIR**

KHALSA DESIGN



BRAMPTON, ON  
TELEPHONE: 647-468-2940

## CONSULTANTS:

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PROSECUTION UNDER LAW

## REGISTRATION



Project number 19018  
Date 06/17/2020  
Drawn by AB  
Checked by KDI  
Scale As indicated

## REVISIONS

No.	Description	Date
1	ISSUED FOR SPA	03/02/2020
2	MINOR VARIANCE SUBMISSION	05/25/2020
3	SPA RESUBMISSION #1	06/17/2020

**PROPOSED  
SITE PLAN**

**ASP-1**

96-98 BROADWAY