

**Scoped Heritage Impact Assessment
IIA York Street
Town of Orangeville, Ontario**

Prepared for:

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Project No: 2024-335

Draft Report: November 1, 2024



EXECUTIVE SUMMARY

D+H Architects, on behalf of their clients Terry and Brenda Giles, have engaged TMHC Inc. (TMHC) to produce a Scoped Heritage Impact Assessment (HIA) for the property at 11A York Street in the Town of Orangeville, Ontario (“the Subject Property”) as part of the Official Plan Amendment (OPA) and Zoning By-law Amendment (ZBA) application process for the redevelopment of the property. The proposed development plans consist of the demolition of the extant house and the construction of a five-unit and a seven-unit townhouse complex. The requirement for the HIA stems from the Subject Property’s adjacency to 11 York Street, which is a listed property on the Town of Orangeville’s *Municipal Heritage Register*. Additional adjacent listed properties include 7 York Street and 15/17 York Street whose rear portions abut the southern portion of the Subject Property.

Located on the south side of York Street between Bythia Street and John Street, the 0.3-hectare (ha) Subject Property is a deep lot that backs onto Kay Cee Gardens, a public park. York Street contains a number of late 19th century and early 20th century residential buildings, interspersed with mid-20th century residential infill buildings.

The *Town of Orangeville Official Plan* outlines specific relevant heritage policy directions including:

- Policy D4.3.1: Council will seek to ensure that heritage resources are maintained and enhanced within a compatible context. Council will address this objective as part of its consideration of any application for development approval that affects the property occupied by a heritage resource, or an adjoining property; and
- Policy D4.3.13: Development and site alteration on lands adjacent to protected heritage properties may be permitted where it has been demonstrated that the identified heritage attributes will be conserved and protected, wherever possible. Mitigative measures and/or alternative development approaches may be required to conserve those heritage attributes.

This Scoped HIA is intended to provide an assessment of the proposed development’s potential impacts on the heritage attributes of the adjacent listed property at 11 York Street, and to provide strategies for mitigation, if necessary. The adjacent listed properties at 7 and 15/17 York Street were also considered. The Scoped HIA determined that there are no known direct impacts to the listed heritage properties arising from the proposed development project on the Subject Property and, as such, only mitigation measures relating to potential indirect impacts are required.

As part of the assessment, opportunities to positively align the proposed development on the Subject Property with the overall heritage character of the neighbourhood were identified. Accordingly, the following strategies are recommended:

- I. The proposed design respects the established building heights of the neighbourhood and the selection of red and buff brick cladding reflects the established architectural materials and colours of adjacent buildings. Additional sympathetic design elements that may be incorporated into the project include buff brick banding on the northern elevations of both townhouse complexes; the replacement of the proposed light grey horizontal siding with siding in a medium-to-dark grey or taupe colour; and the installation of shingles or shakes in a medium-to-dark grey or taupe colour on all gable ends.



2. If the removal of mature trees as part of this project cannot be avoided, these trees, including willows that are at the end of their natural lifespans, should be replaced with similar species under the guidance of an arborist or landscape professional following the completion of the proposed project. The willow and sugar maple species on the Subject Property are found throughout the landscape adjacent to Mill Creek and are essential to the continued conservation of the surrounding natural environment. In addition, they also contribute to the historic aesthetic and scenic quality of the York Street neighbourhood.

3. That a designated construction staging area, set back from the listed heritage properties' identified heritage buildings, should be agreed upon prior to the commencement of construction activities. Monitoring of construction activities is also recommended to mitigate any potential direct and indirect impacts to the listed property by noise and/or vibration caused by construction activities.

The strategies outlined in this report should be confirmed with the Planning and Development Department, Town of Orangeville, and referenced as part of subsequent site preparation and construction planning.



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LIST OF ACRONYMS

CHVI	Cultural Heritage Value or Interest
HCD	Heritage Conservation District
HIA	Heritage Impact Assessment
MCM	Ministry of Citizenship and Multiculturalism
O. Reg.	Ontario Regulation
<i>OHA</i>	<i>Ontario Heritage Act</i>
OHT	Ontario Heritage Trust
OPA	Official Plan Amendment
<i>PPS</i>	<i>Provincial Planning Statement</i>
TMHC	TMHC Inc.
ZBA	Zoning By-law Amendment



PROJECT PERSONNEL

Principal	Holly Martelle, PhD
Senior Reviewer	Josh Dent, PhD, CAHP
Project Manager	Joan Crosbie, MA, CAHP
Cultural Heritage Specialist	Elisabeth Edwards, MA, CAHP Intern
Project Administrators	Kellie Theaker, CHRP Sara Harvey
Health and Safety Coordinator	Wendi Jakob, CTech, CAPM
GIS Technicians	Andrew Turner, BA David Gostick, BA

ACKNOWLEDGEMENTS

Ministry of Citizenship and Multiculturalism	Karla Barboza
Ontario Heritage Trust	Samuel Bayefsky
Town of Orangeville	Matthew Mair, Development Planner



TERRITORIAL ACKNOWLEDGEMENT

The Town of Orangeville is located on the boundary of Treaty 18 and Treaty 19. The Subject Property is located in Treaty 19 on the traditional lands of the Mississaugas of the Credit First Nation. Treaty 18 is located on the traditional lands of the Chippewas of Rama First Nation, the Chippewas of Georgina Island First Nation, and Beausoleil First Nation. Dufferin County, in which Orangeville is situated, is the traditional territory of the Huron-Wendat First Nation and the Haudenosaunee (Ho-den-no-show-nee) First Nation. This land continues to be home to diverse Indigenous peoples (e.g., First Nations and Métis) who are contemporary stewards of the land.



ABOUT TMHC

Established in 2003 with a head office in London, Ontario, TMHC Inc. (TMHC) provides a broad range of archaeological assessment, heritage planning and interpretation, cemetery, and community consultation services throughout the Province of Ontario. We specialize in providing heritage solutions that suit the past and present for a range of clients and intended audiences, while meeting the demands of the regulatory environment. Over the past two decades, TMHC has grown to become one of the largest privately-owned heritage consulting firms in Ontario and is today the largest predominately woman-owned CRM business in Canada.

Since 2004, TMHC has held retainers with Infrastructure Ontario, Hydro One, the Ministry of Transportation, Metrolinx, the City of Hamilton, City of Barrie, and Niagara Parks Commission. In 2013, TMHC earned the Ontario Archaeological Society's award for Excellence in Cultural Resource Management. Our seasoned expertise and practical approach have allowed us to manage a wide variety of large, complex, and highly sensitive projects to successful completion. Through this work, we have gained corporate experience in helping our clients work through difficult issues to achieve resolution.

TMHC is skilled at meeting established deadlines and budgets, maintaining a healthy and safe work environment, and carrying out quality heritage activities to ensure that all projects are completed diligently and safely. Additionally, we have developed long-standing relationships of trust with Indigenous and descendent communities across Ontario and a good understanding of community interests and concerns in heritage matters, which assists in successful project completion.

TMHC is a Living Wage certified employer with the [Ontario Living Wage Network](#) and a member of the [Canadian Federation for Independent Business](#).

KEY STAFF BIOS

Holly Martelle, PhD – Principal

Holly Martelle earned a PhD from the University of Toronto based on her research on Iroquoian populations in southern Ontario. In addition to 16 years of experience in the road building and aggregate industries, Dr. Martelle has worked as a Heritage Planner at the now MCM and has taught at several universities throughout the province. In 2003, she founded TMHC with Dr. Peter Timmins and in 2013 the firm was honored with the Ontario Archaeological Society's award for Excellence in Cultural Resource Management.

Holly is an experienced Project Manager and has demonstrated throughout her career the ability to manage complex projects, meeting project deliverables cost effectively and to the highest standard of quality. Under her leadership, TMHC has made a commitment to innovation, creating solutions that meet the project specific goals and also address the long-term needs of our clients.

Holly is a skilled relationship builder with longstanding relationships with the Indigenous communities throughout Ontario, and other Descendant communities and organizations including the Ontario Black History Society. Ongoing and sustained communication with communities has proven an effective means of ensuring participation from Descendant communities in meeting and exceeding consultation requirements. Through her work on several high level and sensitive provincial projects she has developed an understanding



of what works in the consultation process to ensure that it is effective in providing the client and the project with the information needed to be successful.

Holly is a Past-President of the Ontario Archaeological Society, and is also an active member of the Canadian Archaeological Association, the Society for Historic Archaeology, the Ontario Association for Impact Assessment, and the Council for Northeastern Historical Society.

Joshua Dent, PhD, CAHP – Senior Reviewer; Manager – Community Engagement & Heritage Division

Joshua (Josh) has worked extensively on cultural heritage and archaeological assessments in Ontario and Western Canada. Josh's role at TMHC has involved background research, community consultation, report production, and project management. Josh specializes in multi-faceted heritage studies including large-scale inventories, environmental assessments, and complex institutional assessments. In his role at TMHC, he regularly communicates with Indigenous communities and a variety of heritage stakeholders. These efforts were recently recognized as part of the Oakville Harbour Cultural Heritage Landscape Strategy Implementation which received the Canadian Association of Heritage Professionals' 2021 Award of Merit for Documentation & Planning. He has volunteered extensively with the heritage community in London, Ontario, in both municipal and not-for-profit roles. Josh is professional member of the Canadian Association of Heritage Professionals (CAHP).

Joan Crosbie, MA, CAHP – Project Manager; Manager – Cultural Heritage

Joan has extensive cultural heritage management experience in both the private and public sectors with a strong background in preservation services, built and landscape heritage assessment, archival/historical research, and Museums services. She earned her MA in Architectural History from York University. In her role in Preservation Services with the Toronto Historical Board (City of Toronto), Joan was part of a small team of professionals who advised City Council on a broad range of heritage preservation and planning matters. Later, as Curator of Casa Loma, she gained extensive experience as part of the Senior Management team and honed her skills in cultural and community engagement and was a key staff liaison with the restoration architects and skilled trades as the Casa Loma Estate underwent a major exterior restoration program. More recently, as Manager of Culture and Community Services, Town of Whitchurch-Stouffville, Joan managed the Heritage and Museums services portfolios and has widened her experience in cultural planning to include the adaptive reuse of heritage buildings and historic main street revitalization.

She has published articles on architecture and architectural preservation for a wide range of organizations, including the Canadian Society for Industrial Heritage, the City of Toronto and the Society for the Study of Architecture in Canada. Joan is professional member of the Canadian Association of Heritage Professionals (CAHP).

Elisabeth Edwards, MA, CAHP Intern – Cultural Heritage Specialist

Elisabeth Edwards received a BA in English Literature and Media & Information Studies from Western University in 2020 before completing her MA in Public History at Western University in 2021. Elisabeth's research and career centers around Indigenous history and community engagement with focuses on Indigenous perspectives of heritage and natural conservation. As an interpreter with Parks Canada, Elisabeth developed educational programming and facilitated in ongoing Indigenous cultural engagement initiatives to build stronger relationships with local First Nations and Métis communities.



In 2021, Elisabeth worked as a Historical Researcher with Ottawa-based historical consulting firm Know History Inc. where she conducted genealogical research and Traditional Knowledge and Land Use Studies for the Métis Nation of Ontario, as well as produced public-facing digital history projects. Elisabeth joined TMHC in 2023 as a Cultural Heritage Specialist and is involved in cultural heritage evaluation, impact assessments, and community engagement. Elisabeth is a volunteer with the London chapter of the Architectural Conservancy of Ontario where she creates built heritage reports for local homeowners and engages in local heritage policy. She also executive produces *The Digital Dust Podcast* which engages youth through topics in Public History and heritage.



STATEMENT OF QUALIFICATIONS AND LIMITATIONS

The attached Report (the “Report”) has been prepared by TMHC Inc. (TMHC) for the benefit of the Client (the “Client”) in accordance with the agreement between TMHC and the Client, including the scope of work detailed therein (the “Agreement”).

The information, data, recommendations and conclusions contained in the Report (collectively, the “Information”):

- is subject to the scope, schedule, and other constraints and limitations in the Agreement and the qualifications contained in the Report (the “Limitations”);
- represents TMHC’s professional judgment in light of the Limitation and industry standards for the preparation of similar reports;
- may be based on information provided to TMHC which has not been independently verified;
- has not been updated since the date of issuance of the Report and its accuracy is limited to the time period and circumstances in which it was collected, processed, made or issued;
- must be read as a whole and section thereof should not be read out of such context;
- was prepared for the specific purposes described in the Report and the Agreement.

TMHC shall be entitled to rely upon the accuracy and completeness of information that was provided to it and has no obligation to update such information. TMHC accepts no responsibility for any events or circumstances that may have occurred since the date on which the Report was prepared and, in the case of subsurface, environmental or geotechnical conditions, is not responsible for any variability in such conditions, geographically or over time.

TMHC agrees that the Report represents its professional judgement as described above and that the Information has been prepared for the specific purpose and use described in the Report and the Agreement, but TMHC makes no other representations, or any guarantees or warranties whatsoever, whether express or implied, with respect to the Report, the Information or any part thereof.

Except (1) as agreed to in writing by TMHC and Client; (2) as required by-law; or (3) to the extent used by governmental reviewing agencies for the purpose of obtaining permits or approvals, the Report and the Information may be used and relied upon only by Client.

TMHC accepts no responsibility, and denies any liability whatsoever, to parties other than Client who may obtain access to the Report or the Information for any injury, loss or damage suffered by such parties arising from their use of, reliance upon, or decisions or actions based on the Report or any of the Information (“improper use of the Report”), except to the extent those parties have obtained the prior written consent of TMHC to use and rely upon the Report and the Information. Any injury, loss or damages arising from improper use of the Report shall be borne by the party making such use.

This Statement of Qualifications and Limitations is attached to and forms part of the Report and any use of the Report is subject to the terms hereof.



QUALITY INFORMATION

Report prepared by:

Elisabeth Edwards, MA, CAHP Intern
Cultural Heritage Specialist

Report reviewed by:

Joan Crosbie, MA, CAHP
Project Manager, Cultural Heritage

Report reviewed by:

Joshua Dent, PhD, CAHP
Senior Reviewer

Report reviewed by:

Holly Martelle, PhD
Principal



I INTRODUCTION

I.1 Report Scope and Purpose

D+H Architects, on behalf of their clients Terry and Brenda Giles, have engaged TMHC Inc. (TMHC) to produce a Scoped Heritage Impact Assessment (HIA) for the property at 11A York Street in the Town of Orangeville, Ontario (“the Subject Property”) as part of the Official Plan Amendment (OPA) and Zoning By-law Amendment (ZBA) application process for the redevelopment of the property. The proposed development plans consist of the demolition of the extant house and the construction of a five-unit and a seven-unit townhouse complex. The requirement for the HIA stems from the Subject Property’s adjacency to 11 York Street, which is listed property on the Town of Orangeville’s *Municipal Heritage Register*. Additional adjacent listed properties include 7 York Street and 15/17 York Street whose rear portions abut the southern part of the Subject Property.

Located on the south side of York Street between Bythia Street and John Street, the 0.3 ha Subject Property has a deep lot that backs onto Kay Cee Gardens, a public park. York Street contains a number of late 19th century and early 20th century residential buildings, interspersed with mid-20th century infill buildings.

The *Town of Orangeville Official Plan* outlines specific relevant heritage policy directions including:

- Policy D4.3.1: Council will seek to ensure that heritage resources are maintained and enhanced within a compatible context. Council will address this objective as part of its consideration of any application for development approval that affects the property occupied by a heritage resource, or an adjoining property; and
- Policy D4.3.13: Development and site alteration on lands adjacent to protected heritage properties may be permitted where it has been demonstrated that the identified heritage attributes will be conserved and protected, wherever possible. Mitigative measures and/or alternative development approaches may be required to conserve those heritage attributes.

I.2 Methodology

This Scoped HIA is intended to provide an assessment of the proposed development’s potential impacts on the heritage attributes of the adjacent listed property at 11 York Street and to provide strategies for mitigation, if necessary. The heritage evaluation of the Subject Property is not necessary within the Scoped HIA process.

The HIA follows the general format set out in the MCM’s *InfoSheet #5: Heritage Impact Assessments and Conservation Plans*, which is included in the resource *Heritage Resources in the Land Use Planning Process* within the Ontario Heritage Toolkit. The Scoped HIA also meets the requirements set out by the Town of Orangeville as part of the OPA and ZBA application process for the redevelopment of the property.

For the purposes of preparing this report, TMHC staff visited the Subject Property on September 26, 2024. A full list of referenced sources is included in Section 9 of this HIA.



1.3 Client Contact Information

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jmooi@dharchitects.ca



2 SITE DESCRIPTION

2.1 Subject Property

2.1.1 Location and Physical Description

The Subject Property is located in the central part of the Town of Orangeville, south of Broadway Avenue, in a residential neighbourhood largely composed of late 19th and early 20th century houses. Situated on the south side of York Street between John Street and Bythia Street, the 0.3 ha property is unusually deep. It is flanked to the west by the properties at 11 York Street, 13 York Street, and the rear (south) portions of the property at 15/17 York Street. The properties at 11 York Street and 15/17 York Street are listed on the Town of Orangeville's *Municipal Heritage Register*. In the east, the Subject Property abuts 9 York Street, an unlisted property, and the rear (south) portions of 7 York Street, a listed heritage property. Kay Cee Gardens, a public park, bounds the Subject Property to the south.

Set well back from the established setbacks of earlier buildings on York Street, the Subject Property contains a one-storey red brick back-split house constructed in the mid-20th century. Its main (north) elevation features widely separated flat-headed window openings under a gabled roof with return eaves. The gable end is clad in horizontal siding. The main entrance is located on the east elevation and a driveway located between the properties at 11 York Street and 13 York Street connects the western elevation to York Street. The rear (south) elevation features a basement-level walkout and patio. Above that is a rooftop patio. Gabled roofs cover the building and a masonry clad chimney rises from the western portion of the roof.

2.2 Adjacent Properties (7, 11, and 15/17 York Street)

2.2.1 Location and Physical Description

The properties at 7, 11, and 15/17 York Street are located on the south side of York Street between John Street and Bythia Street in the central part of the Town of Orangeville.

2.2.2 7 York Street

The property at 7 York Street is located to the east of the Subject Property and is separated from it by the non-listed property at 9 York Street. While the lot at 9 York Street is shallow, the parcel at 7 York Street is deep, extending south to Kay Cee Gardens. It shares the southern portion of its western property line with the Subject Property.

The two-storey red brick building has an L-shaped plan and a vernacular design that displays elements of the Gothic Revival style. Set on a raised buff brick foundation, the main (north) elevation has a two-storey bay containing a semi-subterranean basement window, a large ground floor window opening, and a large upper story window opening. All are highlighted by buff brick voussoirs. The gable contains decorative bargeboard. To the east is a one-storey raised entry porch with turned detailing and a recessed main door with a glazed transom. To the south of this porch is a contemporary one-storey addition. Gabled roofs cover the various portions of the building.



2.2.3 11 York Street

The property at 11 York Street is located immediately west of the Subject Property. It is a shallow lot that is bounded on the west, south, and east sides by the Subject Property. To the west is a driveway connecting to the rear (southern) parking spaces and garage of the adjacent Subject Property at 11A York Street.

The two-and-a-half storey red brick house at 11 York Street features elements of Edwardian Classicism. Set on a raised basement clad in cast stone, the main (north) elevation contains three bays, flanked by cast stone quoins that extend to the cornice level. The centrally situated doorcase is raised and features a glazed transom surmounted by a cast stone lintel. It is flanked to the east and west by single window openings with glazed transoms and cast stone lintels. The upper storey contains sash windows with cast stone sills and lintels. Gabled dormers project from the hipped roof on the north, east and west elevations, and a brick chimney rises from the western roofline.

The eastern elevation, fronting onto the Subject Property, has a raised porch with a secondary entrance and above, an enclosed sunroom containing three-over-one sash windows. This section is clad in contemporary siding and is covered by a shed roof. A single-storey addition on the rear (south) elevation is also clad in contemporary siding.

2.2.4 15/17 York Street

The property at 15/17 York Street is located to the west of the Subject Property and is separated from it by the non-listed property at 13 York Street. While the lot at 13 York Street is shallow, the parcel at 15/17 York Street is deep and has an L-shaped configuration, extending south to Kay Cee Gardens. It shares the southern portion of its eastern property line with the Subject Property.

The two-storey red brick building on the property at 15/17 York Street has an L-shaped plan and a vernacular design featuring elements of the Gothic Revival style. The main (north) elevation is symmetrically organized, with a western one-story bay containing three large window openings with stone sills and surmounted by segmental arches of buff brick. To the east is a single window opening with similar detailing. At the second storey are two symmetrically spaced window openings with similar detailing. The gable contains decorative bargeboard.

The eastern elevation has a raised one-storey entry porch with turned detailing and a bellcast roof. Behind is the main entrance. To the south of the porch is a one-storey bay containing three window openings with buff brick detailing. Above is a single window and a gable with decorative bargeboard. Gabled roofs cover the various portions of the building and a buff and red brick chimney rises from the northern ridge of the roof.

To the rear (south) of the main house is a contemporary two-and-a-half storey carriage house, situated immediately adjacent to the southern portion of the eastern property line that it shares with the Subject Property. The building is clad in contemporary dark grey siding and, as there are no plantings to buffer it from the property line, it overlooks the Subject Property and represents a previous example of rear lot intensification in the immediate vicinity of the Subject Property.



2.2.5 Heritage Status

The Subject Property is not listed on the Town of Orangeville's *Municipal Heritage Register* and is not designated under either Part IV or Part V of the *OHA*. There are no National Historic Sites, Ontario Heritage Trust-owned properties, conservation easements, or Provincial Heritage Properties present on, or adjacent to, the Subject Property as verified by the OHT and the MCM.

The adjacent properties at 7, 11, and 15/17 York Street are listed on the Town of Orangeville *Municipal Heritage Register*.

The residential buildings at 7, 11, and 15/17 York Street are situated on part of Lot 2, Concession E of Garafaxa Township, which was originally subdivided c.1844 by Orange Lawrence, for whom the community of Orangeville was named.¹

In 1875, the property at 11 York Street was sold to John Samuel Leslie, a mail conductor, and then later sold to mill owner and entrepreneur Orange Jull at an undetermined date.² In 1893, the property was purchased by Jane Judge, wife of local merchant William Judge, for \$600. A significant increase in the value of the property occurred in 1897, suggesting that a building had been constructed between 1893 and 1896. The 1907 Fire Insurance Plan for Orangeville depicts the building as a two-and-a-half storey brick house with a single-storey wooden addition at the rear.³

The properties at 7 and 15/17 York Street were purchased by George Alexander Campbell in c.1876 from Rhoda Reid, the daughter of Orange Lawrence. Campbell also purchased the property at 19 York Street. Campbell was a prominent member of the Orangeville community and owned a tannery on Little York Street which he inherited from his father. He later expanded the family business and opened a successful shoe store on Broadway Street.⁴

A two-storey red brick house was constructed on the property at 15/17 York Street in c.1876, and it remained the primary residence of the Campbell family into the 20th century. In c.1887, a two-storey red brick house was constructed for Campbell at 7 York Street, however it is unclear who took up residency there.⁵

In May of 2017, municipal Council endorsed the Merchants and Prince of Wales Heritage Conservation District Study, which concluded that sufficient cultural heritage value exists in the Study Area to warrant designation as a Heritage Conservation District (HCD).⁶ A draft plan was developed to accompany the eventual designation of the Merchants and Prince of Wales Heritage Conservation District and proposed to include the historic sections of York Street, 1st Street, Broadway Street, Zina Street, and Faulkner Street.

Although a designating by-law was drafted in 2018 to designate this HCD under Part V of the *OHA*, it has not yet been adopted by City Council.

¹ Town of Orangeville 2017

² Dufferin Museum n.d.

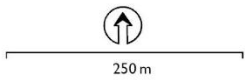
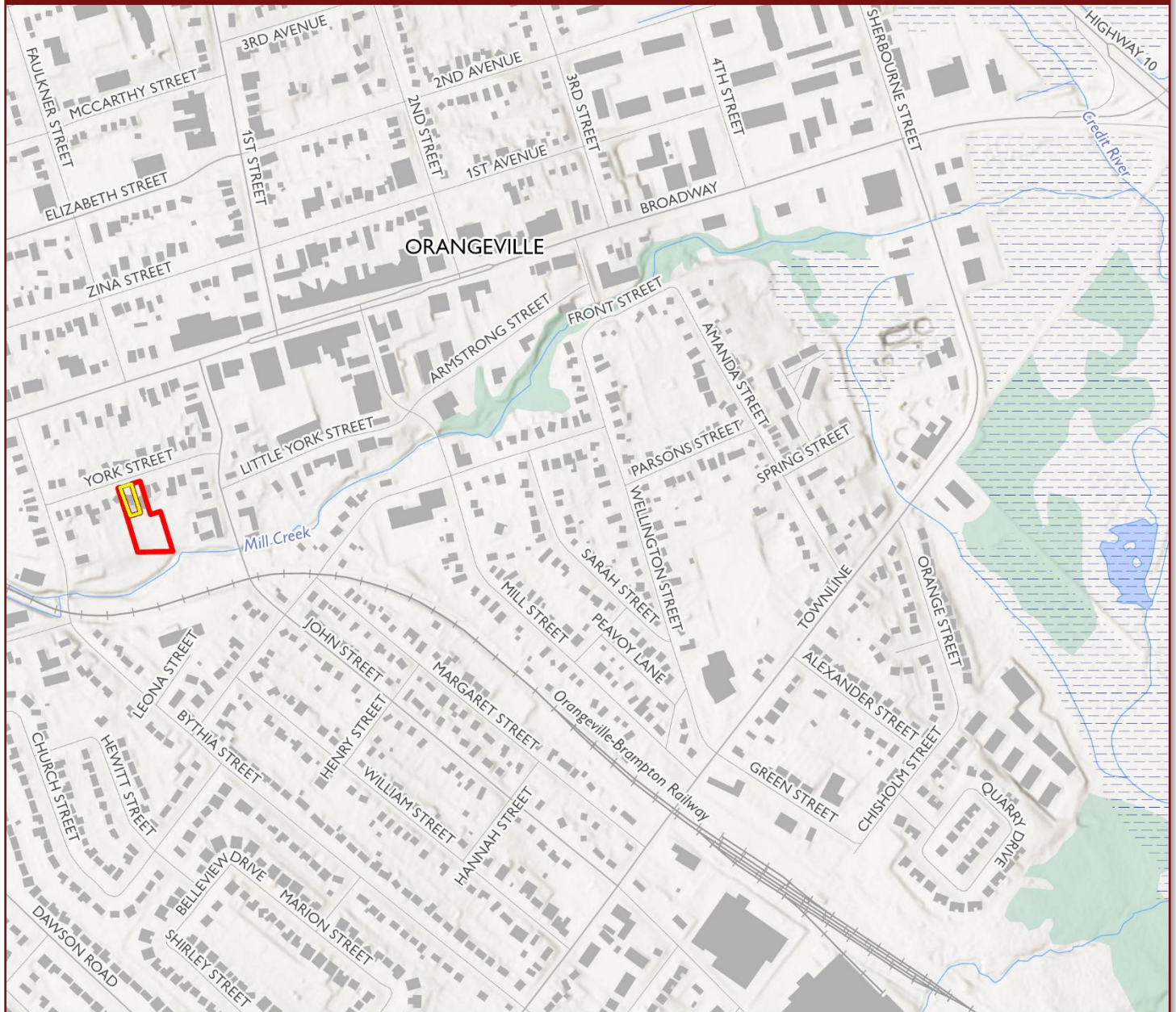
³ Library and Archives Canada 1907

⁴ Town of Orangeville 2020:43

⁵ Town of Orangeville 2024a

⁶ Town of Orangeville 2018

SUBJECT PROPERTY LOCATION

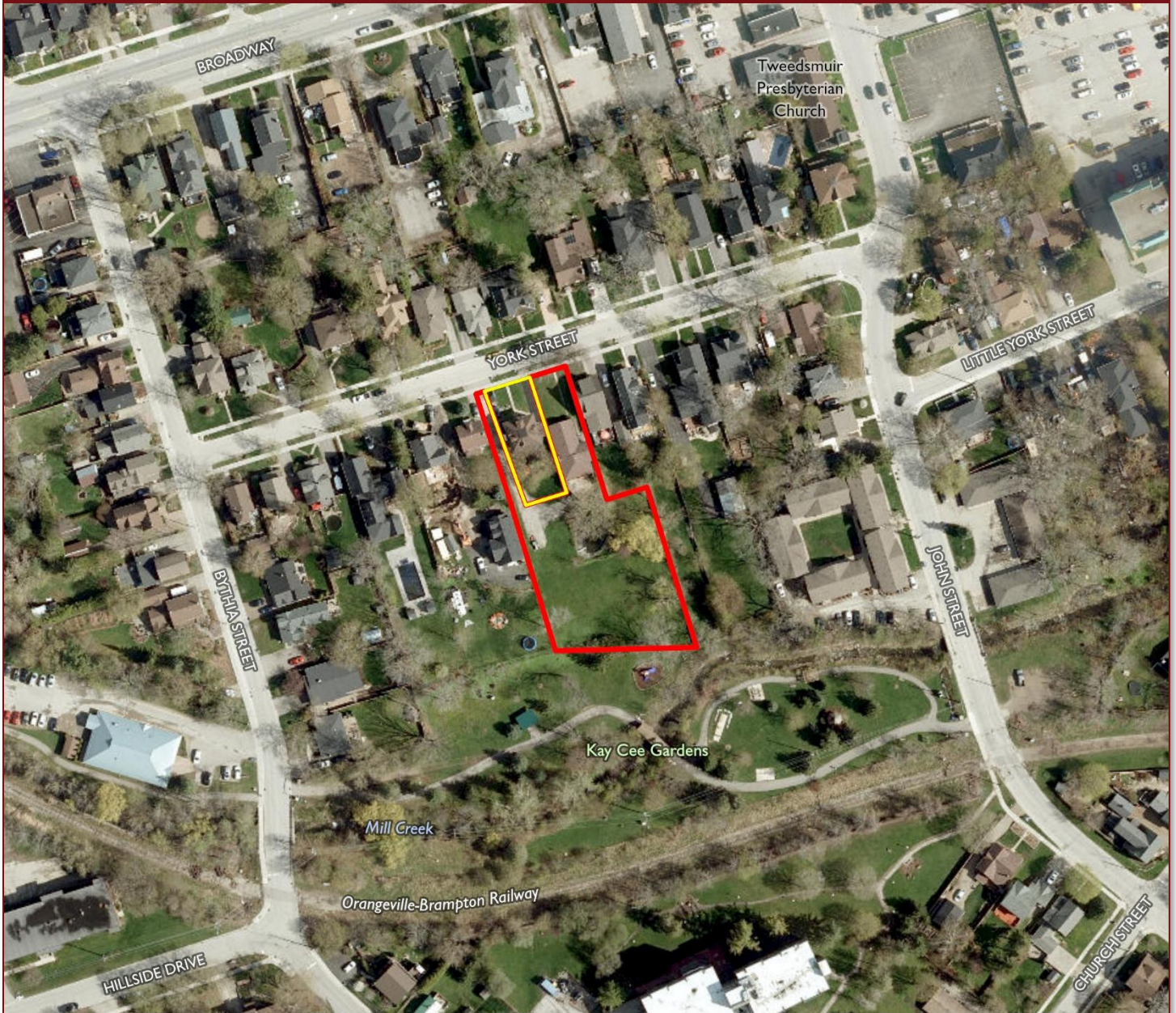


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- Subject Property
- Listed Property: 11 York Street
- Major Road
- Minor Road
- Railway
- Utility Line
- Building
- Watercourse
- Waterbody
- Wooded Area



Map I: Location Map Showing Subject Property at IIA York Street and Adjacent Listed Property at 11 York Street

SUBJECT PROPERTY LOCATION
ESRI WORLD IMAGERY (2023)



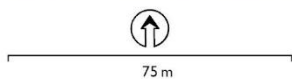
75 m

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-  Subject Property
-  Listed Property: 11 York Street

Map 2: Location Map Showing Subject Property at 11A York Street and Adjacent Listed Property at 11 York Street

EXISTING FEATURES
 ESRI WORLD IMAGERY (2023)



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- Subject Property
- Property Parcel
- Kay Cee Gardens

Adjacent Heritage Designations

- Listed
- Designated Part IV

Map 3: Existing Features and Properties Adjacent to the Subject Property at 11A York Street



3 DESCRIPTION AND PURPOSE OF PROPOSED ACTIVITIES

The Subject Property at 11A York Street is the site of a proposed redevelopment that consists of the demolition of the extant house and the construction of a townhouse complex. This proposed demolition will allow for direct vehicular access from York Street to the townhouses. The new driveway will be situated 500 mm east of the shared property line with 11 York Street, as required by the municipality, and it will be flanked along its eastern edge by a sidewalk.

Conceptual designs of the proposed redevelopment show a five-unit eastern townhouse complex and a seven-unit western townhouse complex, both oriented on a north-south axis and separated by a shared landscaped laneway that extends north to York Street. The main (western and eastern) elevations of the proposed three-storey buildings display a varied façade composed of alternating applications of red brick with buff brick quoins and horizontal siding. The front entrance of each unit is covered by a portico supported by Tuscan columns. Window placement is symmetrical with arched buff brick detailing above. The pitched roofline is accented by a series of pedimented gables and decorative bargeboard.

The eastern townhouse complex will be situated approximately 24.4 m south of the house at 9 York Street, and 2.4 m south of the shared property line. The building complex will also be located 5.66 m west of the boundary line that is shared with the southern portion of the adjacent property at 7 York Street

The western townhouse complex will be situated approximately 18.6 m to the south of the house at 11 York Street, and 1.5 m south of the shared property line. It will also be located 5.06 m east of the boundary line that is shared with the southern portion of the adjacent property at 15/17 York Street. Mature trees adjacent to the extant house at 11 York Street and on parts of the properties at 7 York Street and 15/17 York Street will provide a visual buffer for the proposed project.

The proposed redevelopment will be located in the southern portion of the property where the land descends towards Kay Cee Gardens. Because of this decrease in elevation, the proposed three-storey buildings are still respectful of established neighbourhood building heights, which primarily include two-storey and two-and-a-half storey buildings. In the use of dichromatic brickwork, the proposed development reflects elements found in 19th century buildings on York Street.

Image 1: Conceptual Site Plan for the Proposed Development

D+H Architects Inc.

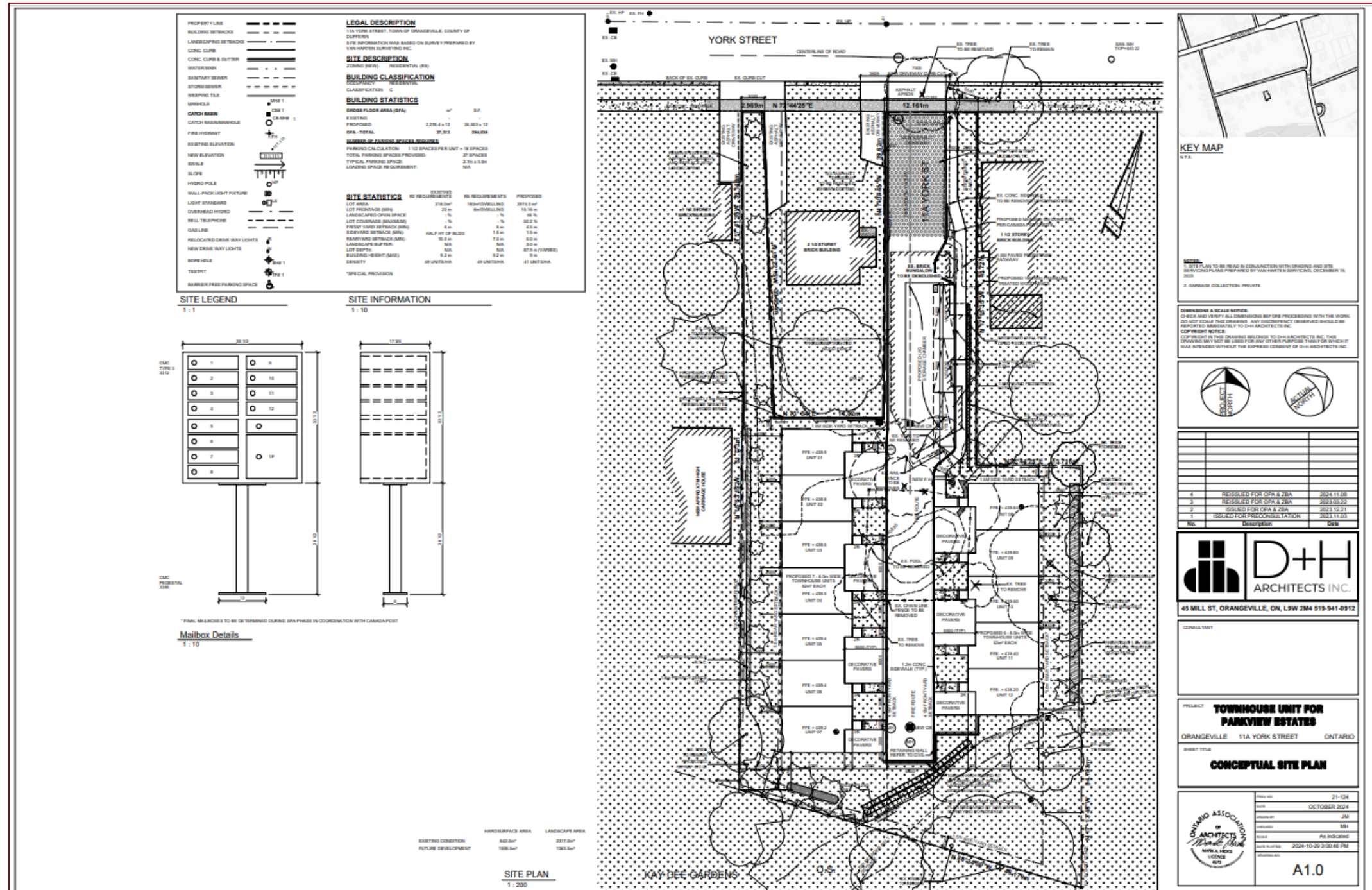


Image 2: Landscaping Plan for the Proposed Development

D+H Architects Inc.

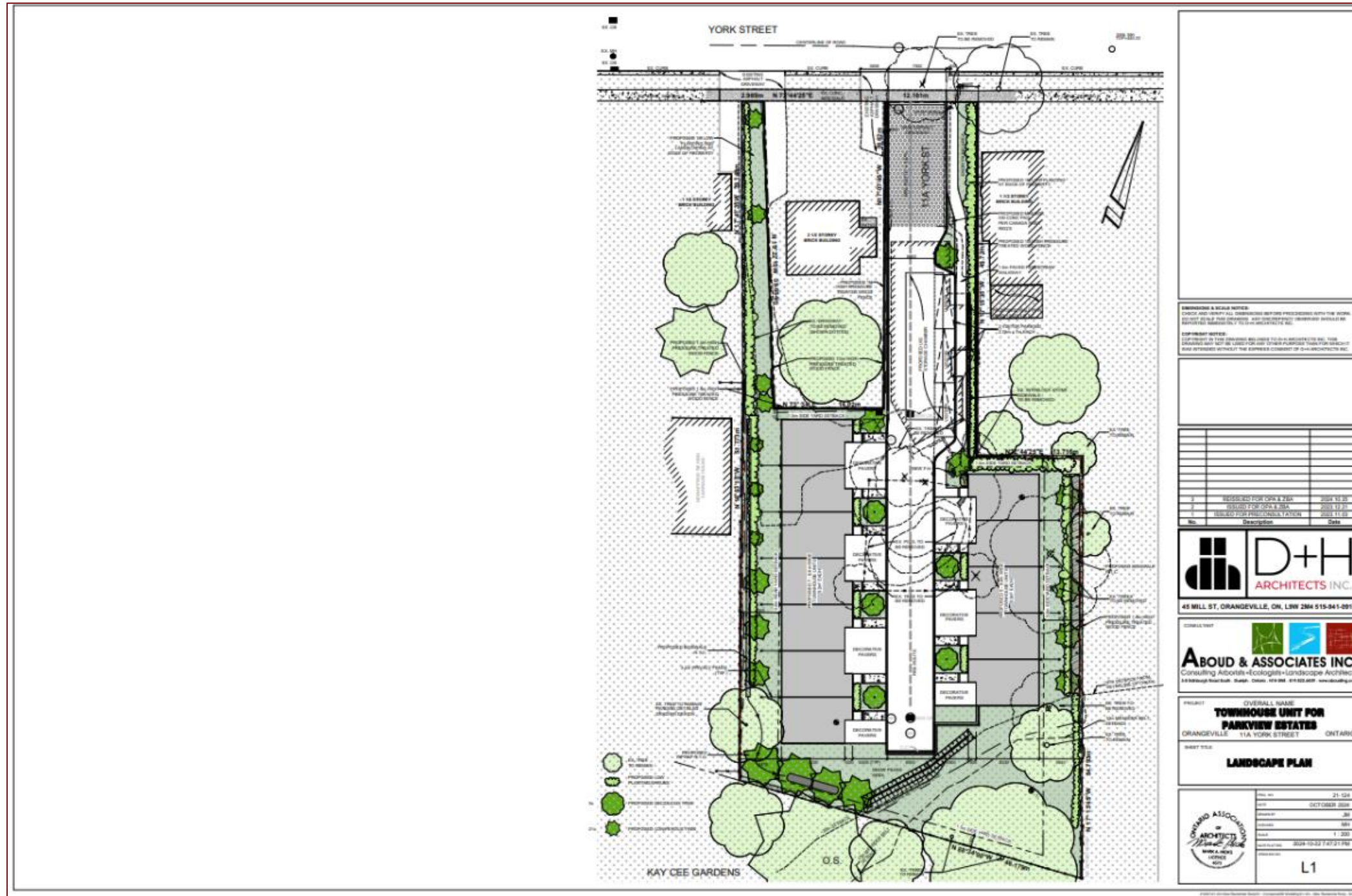


Image 3: Conceptual Elevations of the Proposed Development

D+H Architects Inc.



CONCEPTUAL PERSPECTIVE RENDERING



CONCEPTUAL END ELEVATION



CONCEPTUAL SECTIONAL ELEVATION

11A YORK STREET

45 MILL ST, ORANGEVILLE, ON, L9W 2M4



p. 519-941-0912 | f. 519-941-9142 | www.dharchitects.ca

CONCEPTUAL ELEVATIONS

Image 4: Existing and Conceptual Street Views of the Proposed Development

D+H Architects Inc.



4 ASSESSMENT OF EXISTING CONDITIONS

A visit to the Subject Property was undertaken by TMHC staff on September 26, 2024. The following photographs document the current conditions of the Subject Property and the surrounding area.

4.1 Subject Property

The Subject Property is situated on the south side of York Street between Bythia Street and John Street and contains a detached mid-20th century back-split house clad in red brick. Currently, the building is in good repair. The main (north) elevation of the house features widely separated flat-headed window openings under a gabled roof with return eaves. The gable end is clad in horizontal siding. The main entrance is located on the east elevation (Images 5-6). A driveway located between the properties at 11 York Street and 13 York Street connects the western elevation of the Subject Property to York Street (Images 7-8).

The basement-level walkout opens in a southerly direction towards a patio and a landscaped rear garden (Images 9-13). Above is a rooftop patio, also oriented to the south (Image 14). The backyard contains an in-ground pool and mature trees including a sugar maple and willow trees (Images 15-19). The southern property line is bounded by dense foliage and is demarcated by a chain-link fence (Images 20-21).

The approximate location of the proposed development is a large, open area currently containing some small plantings and trees. A large contemporary carriage house on the property at 15/17 York Street is situated immediately west of the property line, adjacent to the proposed seven-unit townhouse complex (Image 22).

Image 5: 11A York Street, North Elevation

Looking South



Image 7: Setback of 11A York Street

Looking Southeast



Image 9: Driveway at Rear of 11A York Street

Looking Northeast



Image 6: 11A York Street and 11 York Street

Looking Southwest



Image 8: Driveway Between 11 York Street and 13 York Street

Looking South



Image 10: West Elevation, 11A York Street

Looking East



Image 11: South Elevation, 11A York Street
Looking North



Image 13: Back Yard, 11A York Street
Looking South



Image 15: Pool, 11A York Street
Looking East



Image 12: Brick Patio, 11A York Street
Looking West



Image 14: Backyard from Second Storey Patio, 11A York Street
Looking South



Image 16: Mature Sugar Maple, 11A York Street
Looking Northwest



Image 17: Northeast Corner of Property, 11A York Street
Looking Northeast



Image 19: Mature Willow Trees, 11A York Street
Looking East



Image 21: Southern Property Line, 11A York Street
Looking West



Image 18: Mature Willow Trees, 11A York Street
Looking East

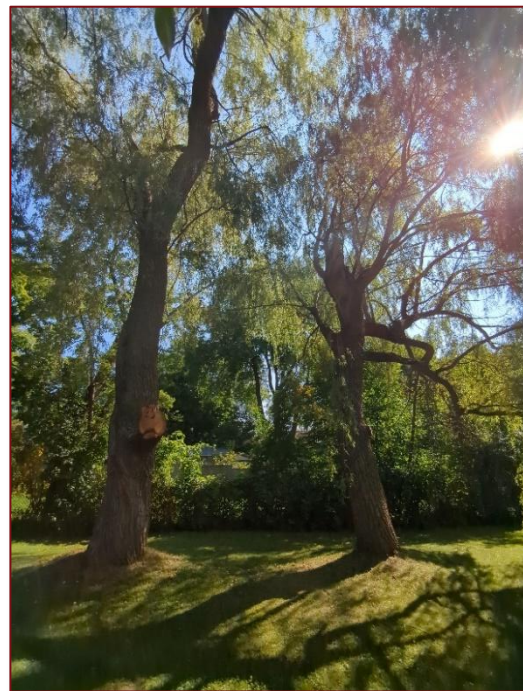


Image 20: View from Southeast Corner of Property, 11A York Street
Looking Northwest



Image 22: Carriage House at Rear of 15/17 York Street
Looking Northwest



4.2 Adjacent Properties (7, 11, and 15/17 York Street)

4.2.1 7 York Street

Situated to the east of the Subject Property, the listed property at 7 York Street contains a two-storey red brick building in a vernacular style that reflects elements of the Gothic Revival style (Image 23).

The building has an L-shaped plan and is set on a raised buff brick foundation. The main (north) elevation has a two-storey bay containing a semi-subterranean basement window, a large ground floor window opening, and a large upper story window opening. All are highlighted by buff brick voussoirs. The gable contains decorative bargeboard. To the east is a one-storey raised entry porch with turned detailing and a recessed main door with a glazed transom (Image 24). To the south of this porch is a contemporary one-storey addition. The western elevation contains a variety of irregularly spaced window openings and the rear elevation has a small one-storey addition. Gabled roofs cover the various portions of the building. The rear of the property is heavily treed and is not visible from the southern portion of the Subject Property (Image 25).

Image 23: 7 York Street

Source: Google Maps



Image 24: 7 York Street

Source: Google Maps



Image 25: Proposed Project Area from Southwest Corner of Property, 11A York Street

Looking Northeast



4.2.2 11 York Street

Situated to the west of the Subject Property (Image 26), the adjacent listed heritage property at 11 York Street contains a two-and-a-half storey red brick house featuring elements of Edwardian Classicism. Set on a raised basement clad in cast stone, the main (north) elevation contains three bays, flanked by cast stone quoins that extend to the cornice level. The centrally situated doorcase is raised and features a glazed transom surmounted by a cast stone lintel. It is flanked to the east and west by single large window openings with glazed transoms and cast stone lintels. Original windows have been replaced. The upper floor contains sash windows, also with cast stone sills and lintels. Gabled dormers project from the hipped roof on the north, east and west elevations, and a brick chimney rises from the western roofline (Image 27).

The eastern elevation, fronting onto the Subject Property, has a raised verandah with a secondary entrance and above, a second storey enclosed sunroom containing three-over-one sash windows which are damaged. This section is clad in contemporary siding that is in compromised condition and is covered by a shed roof that requires re-shingling and new gutters (Image 28). A single-storey addition on the rear (south) elevation is clad in failing contemporary siding and is obscured by trees and plantings that are growing in close proximity to the building foundations (Image 29). The backyard overlooks the driveway and parking area for 11A York Street (Image 30).

Image 26: 11 York Street and 11A York Street

Looking South



Image 27: North Elevation, 11 York Street

Looking South



Image 28: East Elevation, 11 York Street

Looking Southeast



Image 29: South Elevation and Backyard, 11 York Street

Looking North



Image 30: Backyard, 11 York Street

Looking South



4.2.3 15/17 York Street

The property at 15/17 York Street is located to the west of the Subject Property and contains a two-storey red brick building that has an L-shaped plan and a vernacular design featuring elements of the Gothic Revival style (Image 31). The main (north) elevation is symmetrically organized, with a western one-storey bay containing three large window openings with stone sills and surmounted by segmental arches of buff brick. To the east is a single window opening with similar detailing. At the second storey are two symmetrically spaced window openings with similar detailing and containing sash windows. The gable contains decorative bargeboard.

The eastern elevation has a raised one-storey entry porch with turned detailing and a bellcast roof. Behind is the main entrance. To the south of the porch is a one-storey bay containing three window openings with buff brick detailing (Image 32). Above is a single window and a gable with decorative bargeboard. The southern elevation features a two-storey contemporary addition, clad in dark grey siding. Gabled roofs cover the various portions of the building and a buff and red brick chimney rises from the northern ridge of the roof.

The deep lot extends south to Kay Cee Gardens and it shares the southern portion of its eastern property line with the Subject Property. A contemporary two-and-a-half-storey carriage house, clad in dark grey siding, is situated south of the main house and immediately adjacent to the property line. Because of the location of trees, the house at 15/17 York Street cannot be seen from the southern portion of the Subject Property (Image 33). As there are no plantings to buffer the carriage house from the property line, it overlooks the Subject Property and represents a prominent visible example of rear lot intensification in the area.

Image 31: 15/17 York Street

Looking South

Source: Google Maps

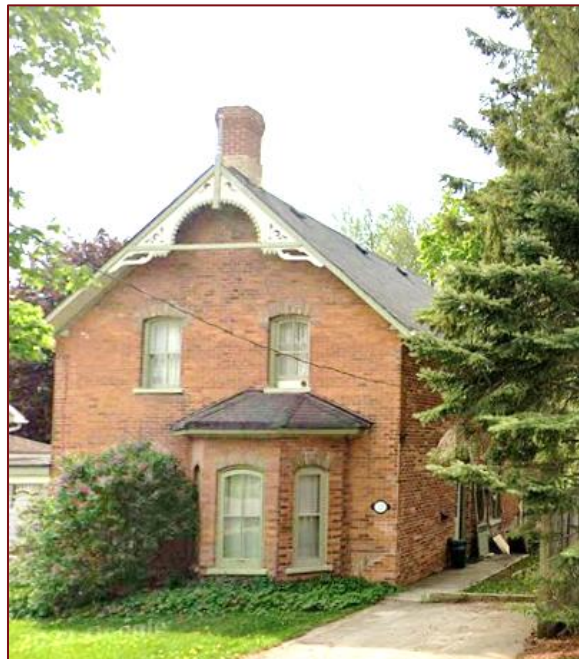


Image 32: 15/17 York Street

Looking Southwest



Image 33: Western Property Line, 11A York Street

Looking North





4.3 Contextual Landscape

The Subject Property is situated on the south side of York Street between Bythia Street and John Street. York Street is characterized by late-19th and early 20th century houses which are set back from the street behind contemporary sidewalks (Images 34-35).

Seventeen properties on York Street are listed on the Town of Orangeville's *Municipal Heritage Register* and one property (20 York Street) is designated under Part IV of the *OHA*.⁷ The street has a preponderance of red two-storey and two-and-a-half storey brick buildings, many with buff brick detailing. There are a variety of building styles, including the Italianate, Gothic Revival, Craftsman, and Edwardian Classicism (Images 36-39). Many of the properties have been heavily restored in recent years and, in some cases, this work has extended to the construction of contemporary additions, including large rear additions and carriage houses (Images 40-41). A number of these two-storey additions are clad in black contemporary siding and do not visually conform to the architectural characteristics of the established neighbourhood. Infill houses dating from the early part of the 20th century to the mid-20th century are also found along the street (Images 42-43).

The southern portion of the Subject Property slopes in a southerly direction towards Kay Cee Gardens, a public park, which contains paved walking trails and recreational activities (Image 44). Mill Creek travels in an easterly direction through the park. While today it is a minor tributary, in the 19th century it ran with sufficient velocity to power several local mills before joining the Credit River in the east.⁸

⁷ Town of Orangeville n.d.

⁸ Town of Orangeville 2020

Image 34: York Street East

Looking East



Image 36: 4 York Street (Italianate)

Looking Northeast



Image 38: 9 York Street (Craftsman)

Looking South



Image 35: York Street West

Looking West



Image 37: 16 York Street (Gothic Revival)

Looking North



Image 39: 23 York Street (Edwardian Classicism)

Looking Southwest



Image 40: 7 York Street (Rear Addition)
Looking Southeast



Image 42: 14 York Street
Looking North



Image 44: Kay Cee Gardens from Southern Property Line, 11A York Street
Looking Southwest



Image 41: 15-17 York Street (Rear Addition)
Looking Southwest



Image 43: 13 York Street
Looking Southeast
Source: Google Maps



5 POLICY CONTEXT

5.1 Ontario Heritage Act (2005)

The *OHA* provides a framework for municipalities in Ontario to ensure the conservation of properties with cultural heritage value or interest, including through the capacity to designate heritage properties:

29 (1) The council of a municipality may, by by-law, designate a property within the municipality to be of cultural heritage value or interest if:

- (a) where criteria for determining whether property is of cultural heritage value or interest have been prescribed, the property meets the prescribed criteria; and
- (b) the designation is made in accordance with the process set out in this section.

Under the *OHA*, O.Reg. 9/06 (as amended by O.Reg. 596/22) provides the criteria for determining a property's cultural heritage value or interest:

(3) In respect of a property for which a notice of intention to designate it is given under subsection 29 (1.1) of the Act on or after the day subsection 3 (2) of Schedule 6 to the *More Homes Built Faster Act, 2022* comes into force, the property may be designated under section 29 of the Act if it meets two or more of the criteria for determining whether it is of cultural heritage value or interest set out in paragraphs 1 to 9 of subsection 1 (2).

Designated properties appear on a municipality's register of heritage properties:

27 (1) The clerk of a municipality shall keep a register of property situated in the municipality that is of cultural heritage value or interest.

This register also may include so-called listed properties:

27(3) In addition to the property listed in the register under subsection (2) [designated properties], the register may include property that has not been designated under this Part if,

- (a) the council of the municipality believes the property to be of cultural heritage value or interest; and
- (b) where criteria for determining whether property is of cultural heritage value or interest have been prescribed for the purposes of this subsection, the property meets the prescribed criteria.

According to Part V of the *OHA*, a municipality may also undertake studies regarding (*OHA* s.40), designate (*OHA* s.40), and develop plans for (*OHA* s.41) heritage conservation districts (HCDs). These are areas of heritage significance composed of multiple properties.

Part VI of the *OHA* addresses the protection of archaeological resources.

As of January 2023, at least 25% of properties within the proposed HCD must meet two or more of the O.Reg. 9/06 criteria (as amended under O.Reg. 569/22).



Under the *OHA*, O.Reg. 10/06 provides the criteria for determining if a property has provincial heritage significance:

- (2) A property may be designated under Section 34.5 of the *Act* if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest of provincial significance.

5.2 The Planning Act (1990)

The *Planning Act* is a piece of provincial legislation that provides stipulations for the land use planning process in Ontario, such as the identification of provincial interests and tools for the responsible management of resources including cultural heritage and archaeological resources:

2. The minister, the council of a municipality, a local board, a planning board and the Tribunal, in carrying out their responsibilities under this *Act*, shall have regard to, among other matters, matters of provincial interest such as:
 - (d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.

Section 3 of the *Planning Act* indicates that all decisions affecting land use planning matters “shall be consistent with” the *Provincial Planning Statement (PPS)*, a document that identifies matters of provincial interest to be considered during land use planning.

5.3 Provincial Planning Statement (PPS 2024)

The sections of the *PPS 2024* that are relevant to the Project and the Study Area are itemized below.

Section 4.6 identifies the following relevant policies related to cultural heritage and archaeology:

4.6.1 *Protected heritage property*, which may contain *built heritage resources* or *cultural heritage landscapes*, shall be conserved.

4.6.2. Planning authorities shall not permit *development* and *site alteration* on lands containing *archaeological resources* or *areas of archaeological potential* unless the significant *archaeological resources* have been conserved.

4.6.3. Planning authorities shall not permit *development* and *site alteration* on adjacent lands to *protected heritage property* unless the *heritage attributes* of the *protected heritage property* will be conserved.

4.6.4. Planning authorities are encouraged to develop and implement:

- a) archaeological management plans for conserving *archaeological resources*; and
- b) proactive strategies for conserving *significant built heritage resources* and *cultural heritage landscapes*.

4.6.5. Planning authorities shall engage early with Indigenous communities and ensure their interests are considered when identifying, protecting and managing *archaeological resources*, *built heritage resources* and *cultural heritage landscapes*.



Section 8.0 provides the following definitions relevant to the Study Area:

Archaeological resources: includes artifacts, archaeological sites and marine archaeological sites, as defined under the *Ontario Heritage Act*. The identification and evaluation of such resources are based upon archaeological assessments carried out by archaeologists licensed under the *Ontario Heritage Act*.

Areas of archaeological potential: means areas with the likelihood to contain archaeological resources, as evaluated using the processes and criteria that are established under the *Ontario Heritage Act*.

Built heritage resource: means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community.

Conserved: means the identification, protection, management and use of *built heritage resources*, *cultural heritage landscapes* and *archaeological resources* in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches should be included in these plans and assessments.

Cultural heritage landscape: means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association.

Development: means the creation of a new lot, a change in land use, or the construction of buildings and structures requiring approval under the *Planning Act*, but does not include:

- a) activities that create or maintain infrastructure authorized under an environmental assessment process or identified in provincial standards; or
- b) works subject to the Drainage Act.

Heritage attributes: means, as defined under the *Ontario Heritage Act*, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest.

Protected heritage property: means property designated under Part IV or VI of the *Ontario Heritage Act*; property included in an area designated as a heritage conservation district under Part V of the *Ontario Heritage Act*; property subject to a heritage conservation easement or covenant under Part II or IV of the *Ontario Heritage Act*; property identified by a provincial ministry or a prescribed public body as a property having cultural heritage value or interest under the Standards and Guidelines for the Conservation of Provincial Heritage Properties; property protected under federal heritage legislation; and UNESCO World Heritage Sites.



Significant: means in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*.

Site alteration: means activities, such as grading, excavation and the placement of fill that would change the landform and natural vegetative characteristics of a site.

5.4 The Town of Orangeville Official Plan (2020)

The *Town of Orangeville Official Plan* was consolidated in 2020. Section D4 of the *Official Plan* outlines the following relevant heritage objectives:

- D4.3.1:** Council will seek to ensure that heritage resources are maintained and enhanced within a compatible context. Council will address this objective as part of its consideration of any application for development approval that affects the property occupied by a heritage resource, or an adjoining property.
- D4.3.8:** As a condition of approval of a proposed development involving the retention of a heritage feature, Council may require the owner to enter into an agreement that safeguards the future of the heritage feature. This agreement may require the owner to provide a financial security to the Town to ensure compliance with the agreement.
- D4.3.10:** Council may designate heritage resources under Part IV of the *Ontario Heritage Act* where such a resource is considered to be of a historical significance and meets one or more of the following criteria:
- a) Represents a unique or rare example, or is one of the only remaining examples of its architectural style;
 - b) Is a work of exceptional quality in terms of its plan, design, construction, materials or details;
 - c) Represents a significant example of the work of a celebrated designer, architect or builder;
 - d) Represents an aspect of the early development of the Town;
 - e) Is associated with a person or persons who became prominent locally, provincially or nationally; or,
 - f) Is associated with an historically significant event in the development of the Town, the county, or the province.
- D4.3.13:** Development and site alteration on lands adjacent to protected heritage properties may be permitted where it has been demonstrated that the identified heritage attributes will be conserved and protected, wherever possible. Mitigative measures and/or alternative development approaches may be required to conserve those heritage attributes.



6 IMPACT ASSESSMENT

According to the MCM's *InfoSheet #5: Heritage Impact Assessments and Conservation Plans*:

Any impact (direct or indirect, physical or aesthetic) of the proposed development or site alteration on a cultural heritage resource must be identified. The effectiveness of any proposed conservation or mitigative or avoidance measures must be evaluated on the basis of established principles, standards and guidelines for heritage conservation.

The following table includes an assessment of the proposed development against the types of potential impacts identified in *InfoSheet #5: Heritage Impact Assessments and Conservation Plans*. Any identified potential impacts should be addressed by mitigation measures, as discussed below.

The following types of potential impacts are outlined in *InfoSheet #5*:

- **Destruction** of any, or part of any, significant heritage attributes or features;
- **Alteration** that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- **Isolation** of a heritage attribute from its surrounding environment, context or a significant relationship;
- Direct or indirect **obstruction** of significant views or vistas within, from, or of built and natural features;
- A **change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;
- **Land disturbances** such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource; and
- **Other** potential impacts.



Table 1: IIA York Street Impact Assessment

Negative impact on a heritage resource	Assessment for the Subject Property
<p>Destruction of any, or part of any, significant heritage attributes or features;</p>	<p>No; the proposed development on the Subject Property will not destroy or have any impact on the heritage attributes or features on the adjacent listed properties. The proposed construction activities will be confined to the Subject Property.</p>
<p>Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;</p>	<p>No; the proposed development on the Subject Property is for the construction of two three-storey townhouse buildings containing five and seven units each and will not impact the adjacent listed properties.</p> <p>Set on land that slopes towards the southern end of the lot, the proposed development is set well back from York Street and is expected to have little visual impact on the general streetscape. Another two-storey townhouse development, Parkland Village, is located to the east of the Subject Property fronting John Street. Relative to those townhouses, the proposed development to the rear of the Subject Property will have much less visual presence from the street. The proposed project also reflects a thoughtful and increasingly common and accepted response to generating much needed housing units in heritage neighbourhoods using rear additions and infill to maintain heritage streetscapes.</p> <p>The development also respects the established heights of the neighbourhood as the proposed townhouses are set below the level of York Street. In addition, the proposed designs include materials and architectural elements that are compatible with the established neighbourhood.</p>
<p>Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;</p>	<p>No; the proposed development on the Subject Property will not create shadows that alter the appearance of potential heritage attributes on the adjacent listed properties along York Street, nor will it impact the viability of natural features or plantings situated on the adjacent properties.</p>



Negative impact on a heritage resource	Assessment for the Subject Property
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;	<p>No; the proposed development on the Subject Property will not isolate any potential heritage attribute on the adjacent listed heritage properties from their surrounding environment or significant relationships.</p> <p>While the properties at 7, 11 and 15/17 York Street are historically linked to the late 19th and early 20th century residential development of York Street, which primarily contains single-family houses, there has been ongoing diversification of the built form on that street since the mid-20th century, with the introduction of small infill houses.</p> <p>In the late 20th and early 21st centuries, this diversification and intensification has continued with the introduction of large rear additions and detached rear garages and carriage houses throughout the neighbourhood including on the adjacent properties of 7 and 15/17 York Street. In some cases, the rear additions include the extensive use of contemporary siding in dark grey or black, which does not reflect the established architectural designs of the neighbourhood.</p> <p>As such, the setback, scale, and rear positioning of the proposed development will not impact the context of the listed heritage properties and, in terms of design and materials, will complement other historical and contemporary structures in the neighbourhood.</p>



Negative impact on a heritage resource	Assessment for the Subject Property
<p>Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;</p>	<p>Yes; while the removal of the extant house at 11A York Street, and the redevelopment of the lot to provide a southerly vista along a landscaped avenue between the western and eastern townhouse complexes will establish a connectivity with Kay Cee Gardens, the proposed development on the property may indirectly impact the southern viewshed from the property at 11 York Street and some western views from the southern portion of the property at 7 York Street during the winter months.</p> <p>The proposed western townhouse complex will be situated approximately 18.6 m to the south of the listed property at 11 York Street, and 1.5 m south of the shared property line. In the summer months, the southern view from the listed property will not be impacted due to the presence of mature trees adjacent to the heritage building. During the winter season, indirect obstruction of parts of the southern viewshed is to be expected.</p> <p>The proposed eastern townhouse complex will be located 5.66 m west of the boundary line that is shared with the southern portion of the listed property at 7 York Street. Although plantings and mature trees will obscure the view of the proposed development from the southern portion of the property during the summer months, it is likely that some western views will be indirectly impacted during the winter months. It is unlikely that views will be significantly impacted from the house on that property.</p> <p>The proposed western townhouse complex will be situated 5.06 m east of the boundary line that is shared with the southern portion of the listed property at 15/17 York Street. Due to an extant contemporary carriage house situated immediately west of the property line, and extant mature trees on that lot, it is unlikely that the viewshed from the house at 15/17 York Street will be directly or indirectly impacted.</p>
<p>A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;</p>	<p>No; no change in land use will occur on the Subject Property that will impact the adjacent listed heritage properties. The land will continue to be used for residential purposes.</p>



Negative impact on a heritage resource	Assessment for the Subject Property
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource; or	No; the proposed development on the Subject Property is not known to cause land disturbances that will result in a change of grade that will alter the soil and drainage patterns that will adversely affect an archaeological resource.
Other potential impacts.	Yes; there may be indirect impacts to the adjacent “listed” heritage properties during construction. Potential Indirect impacts include noise and vibration if these activities are not monitored or staging areas placed appropriately.

7 CONSIDERED ALTERNATIVES AND MITIGATION STRATEGIES

7.1 Mitigation Strategies for Potential Impacts

As detailed in Section 3, the proponent has proposed a development that consists of the demolition of the extant house at 11A York Street and the construction of a townhouse complex in the southern portion of the lot. Conceptual designs of the proposed three-storey development show a five-unit and a seven-unit townhouse complex, oriented on a north-south axis and separated by a shared laneway and landscaping that extends north to York Street.

The HIA determined that there are no known direct impacts to the listed heritage properties arising from the proposed development project on the Subject Property and, as such, only mitigation measures relating to potential indirect impacts are required. Additionally, opportunities to positively enhance the proposed designs of the development to ensure integration into the historic character of the York Street streetscape were also identified. Accordingly, the following strategies identified below are recommended.

7.1.1 Architectural Design Elements

The proposed development, located in the southern portion of the Subject Property where the land descends towards Kay Cee Gardens, is respectful of established neighbourhood building heights (two storey and two-and-a-half storeys) and the use of red and buff brick cladding reflects the late 19th century characteristics of existing buildings along York Street. Additional sympathetic design features that could be incorporated include buff brick banding along the northern elevations of both townhouse complexes, after the manner demonstrated in the building at 22 York Street (Image 45). Additional sympathetic elements may also include the replacement of the light grey siding with siding in a medium-to-dark grey or taupe colour, as used on the newly constructed carriage house at 15/17 York Street (Image 46). For additional visual interest, gable ends (particularly those facing York Street) could be highlighted with the addition of shingles or shakes in a medium-to-dark grey or taupe colour as seen in the gable ends of the building at 6 York Street (Image 47).

7.1.2 Tree Protection or Replacement

In addition to the removal of a young tree in the right-of way, adjacent to the sidewalk, several extant mature sugar maple and willow trees on the Subject Property are identified for removal prior to the commencement of construction activities.

Under the guidance of an arborist or landscape specialist, the remaining trees on or adjacent to the Subject Property should be monitored to prevent direct and indirect impacts from construction activities. Trees that have been identified for removal as part of this development should be replaced by similar species following the completion of the proposed project. While the removal of mature trees from the southern portion of the Subject Property will not directly impact the York Street streetscape, the trees contribute to the “historic aesthetic and scenic quality” of the neighbourhood. The willow and sugar maple species are found throughout the landscape adjacent to Mill Creek, and are essential to the continued conservation of the surrounding natural environment.

7.1.3 Construction Staging Area Setback and Construction Monitoring

The proposed development will take place in proximity to the listed properties at 7, 11, and 15/17 York Street. The driveway is proposed to be located 500 mm to the east of the shared property line with 11 York Street (as per the request of the Municipality), and the western townhouse complex will be constructed approximately 18.6 m to the south of the listed building at 11 York Street, and 1.5 m from the shared southern property line. The western townhouse complex is also planned to be located 5.06 m east of the boundary line that is shared with the southern portion of the listed property at 15/17 York Street.

The proposed eastern townhouse complex will be situated approximately 24.4 m south of the house at 9 York Street, and 2.4 m south of the shared property line. This complex will also be located 5.66 m west of the boundary line that is shared with the southern portion of the listed property at 7 York Street. To mitigate any potential indirect impacts to the listed properties, noise and vibration should be monitored during construction activities by the Project Supervisor or their on-site representative.

In addition, a designated construction staging area, set back from the identified heritage building at 11 York Street, should be agreed upon prior to the commencement of construction activities. Ongoing monitoring of construction activities is also recommended to ensure adequate practices for the safety of neighbouring heritage resources.

Image 45: 22 York Street

Looking North



Image 46: 15/17 York Street (Carriage House)

Looking Northwest



Image 47: 6 York Street

Looking North



8 CONCLUSION

D+H Architects, on behalf of their clients Terry and Brenda Giles, have engaged TMHC to produce a Scoped HIA for the property at 11A York Street in the Town of Orangeville, Ontario as part of the OPA and ZBA application process for the redevelopment of the property. The plans for redevelopment consist of the demolition of the extant house and the construction of a three-storey five-unit and seven-unit townhouse complex. The requirement for the HIA stems from the Subject Property's adjacency to the property at 11 York Street, which is listed on the Town of Orangeville's *Municipal Heritage Register*. Additional adjacent listed properties include 7 York Street and 15/17 York Street whose rear portions abut the rear of the Subject Property. Located on the south side of York Street between Bythia Street and John Street, the 0.3 ha Subject Property is a deep lot that backs onto Kay Cee Gardens, a public park. The design drawings have not been finalized.

This scoped HIA is intended to provide an assessment of the proposed development's potential impacts on the heritage attributes of the adjacent listed property at 11 York Street, and to provide strategies for mitigation, if necessary. The adjacent listed properties at 7 York Street and 15/17 York Street were also considered. The HIA subsequently determined that there are no known direct impacts to the listed heritage properties arising from the proposed development project on the Subject Property and, as such, only mitigation measures relating to potential indirect impacts are required.

As part of the assessment, opportunities to positively align the proposed development on the Subject Property with the overall heritage character of the neighbourhood were identified. Accordingly, the following strategies are recommended:

1. The proposed design respects the established building heights of the neighbourhood and the selection of red and buff brick cladding reflects the established architectural materials and colours of adjacent buildings. Additional sympathetic design elements that may be incorporated into the project include buff brick banding on the northern elevations of both townhouse complexes; the replacement of the proposed light grey horizontal siding with siding in a medium-to-dark grey or taupe colour; and the installation of shingles or shakes in a medium-to-dark grey or taupe colour on all gable ends.
2. If the removal of mature trees as part of this project cannot be avoided, these trees, including willows that are at the end of their natural lifespans, should be replaced with similar species under the guidance of an arborist or landscape professional following the completion of the proposed project. The willow and sugar maple species on the Subject Property are found throughout the landscape adjacent to Mill Creek and are essential to the continued conservation of the surrounding natural environment. In addition, they also contribute to the historic aesthetic and scenic quality of the York Street neighbourhood.
3. That a designated construction staging area, set back from the listed heritage properties' identified heritage buildings, should be agreed upon prior to the commencement of construction activities. Monitoring of construction activities is also recommended to mitigate any potential direct and indirect impacts to the listed property by noise and/or vibration caused by construction activities.



The strategies outlined in this report should be confirmed with the Planning and Development Department, Town of Orangeville, and referenced as part of subsequent site preparation and construction planning.



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