



## **The Corporation of the Town of Orangeville**

### **By-law Number \_\_\_\_\_**

#### **A By-law to amend Zoning By-law No. 22-90 as amended, with respect to Part of Lot 5, Concession C, municipally known as 670 and 690 Broadway**

#### **2040771 Ontario Inc., OPZ 4/19**

Whereas the Council of the Corporation of the Town of Orangeville is empowered to pass By-laws to permit the use of land pursuant to Sections 34 and 36 of the Planning Act, RSO 1990, as amended;

And whereas Council considers it desirable to pass a By-law to amend Zoning By-law No. 22-90, as amended, to permit the use of Part of Lot 5, Concession C, municipally known as 670 and 690 Broadway, as a 33-unit townhouse development.

Be it therefore enacted by the municipal Council of The Corporation of the Town of Orangeville as follows:

1. That Schedule "A", Maps C1 and C2 to Zoning By-law No. 22-90, as amended, is hereby further amended by rezoning the lands as depicted on Schedule "A" attached to this By-law.
2. That Section 24 of By-law 22-90, as amended, is hereby further amended by adding the following thereto:

"24.225 Notwithstanding the provisions of Sections 12.2, the following provisions shall apply to the lands zoned as Multiple Residential Medium Density (RM1) Zone, Special Provision 24.225:

1) Maximum Density	32 units per hectare
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**Regulations for Townhouse Dwellings having frontage to Individual Dwelling Units from a Public Road (measurements taken from the Public Road):**

1) Lot Area (minimum)	140.0 square metres per dwelling unit
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|----|---|--------------------------------------|
| 2) | Lot Frontage (minimum)                              | 7.8 metres per dwelling unit         |
| 3) | Exterior Side Yard (minimum)<br>to a Private Street | 3.5 metres                           |
| 4) | Rear Yard (minimum)                                 | 4.0 metres                           |
| 5) | Building Height (maximum)                           | 12.0 metres                          |
| 6) | Lot Coverage (maximum)                              | 62%                                  |
| 7) | Ground Floor Area (minimum)                         | 55.0 square metres per dwelling unit |

Notwithstanding the minimum required front, exterior side and rear yards, the following encroachments are permitted:

- a) covered porches and stairs are permitted to encroach a maximum of 2.75 metres into the minimum required rear yard; and
- b) balconies shall be permitted to encroach a maximum of 1.8 metres into the minimum required front yard.

**Regulations for Townhouse Dwellings having frontage to Individual Dwelling Units from a Private Street (measurements taken from the Private Street):**

- |    |                             |                                       |
|----|-----------------------------|---------------------------------------|
| 1) | Lot Area (minimum)          | 160.0 square metres per dwelling unit |
| 2) | Lot Frontage (minimum)      | 5.8 metres per dwelling unit          |
| 3) | Front Yard (minimum)        |                                       |
|    | - to front of dwelling      | 5.0 metres                            |
|    | - to garage                 | 6.0 metres                            |
| 4) | Lot Coverage (maximum)      | 50%                                   |
| 5) | Ground Floor Area (minimum) | 75.0 square metres per dwelling unit  |

Notwithstanding the minimum required front, exterior side and rear yards, the following encroachments are permitted:

- a) unroofed, unexcavated, unenclosed decks and stairs attached to the main building are permitted to encroach a maximum of 4.5 metres into the minimum required rear yard."

**Holding Symbol**

The Holding Symbol (H) shall only be removed from all or a portion of the lands when the Town is satisfied that:

- 1) there is sufficient water supply and sewage treatment capacity to service the development or portion thereof as the case may be.

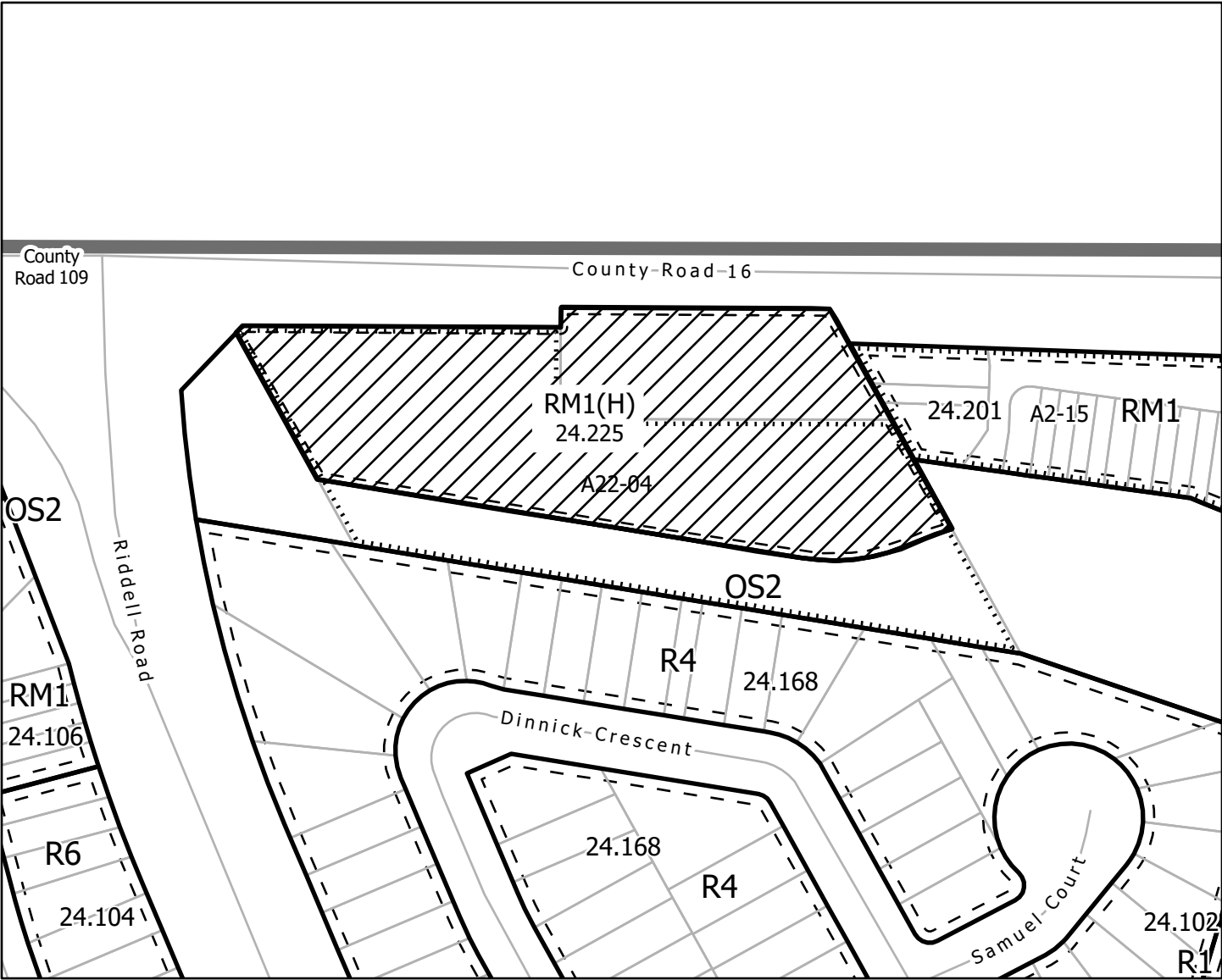
Passed in open Council this 14<sup>th</sup> day of December, 2020.

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Sandy Brown, Mayor

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Karen Landry, Clerk

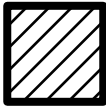


The Corporation of The Town of Orangeville  
Schedule 'A' Town of Orangeville Zoning By-law 22-90

Schedule **"A"** to by-law  
Passed the \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Clerk

 Lands to be rezoned from  
Development (D) Zone to Multiple  
Residential Medium Density (RM1)  
(H) Zone, S.P. 24.225