



The Corporation of the Town of Orangeville

By-law Number _____

A By-law to amend Zoning By-law No. 22-90 as amended, with respect to Part of Lot 5, Concession C, municipally known as 670 and 690 Broadway

2040771 Ontario Inc., OPZ 4/19

Whereas the Council of the Corporation of the Town of Orangeville is empowered to pass By-laws to permit the use of land pursuant to Sections 34 and 36 of the Planning Act, RSO 1990, as amended;

And whereas Council considers it desirable to pass a By-law to amend Zoning By-law No. 22-90, as amended, to permit the use of Part of Lot 5, Concession C, municipally known as 670 and 690 Broadway, as a 33-unit townhouse development.

Be it therefore enacted by the municipal Council of The Corporation of the Town of Orangeville as follows:

1. That Schedule "A", Maps C1 and C2 to Zoning By-law No. 22-90, as amended, is hereby further amended by rezoning the lands as depicted on Schedule "A" attached to this By-law.
2. That Section 24 of By-law 22-90, as amended, is hereby further amended by adding the following thereto:

"24.225 Notwithstanding the provisions of Sections 12.2, the following provisions shall apply to the lands zoned as Multiple Residential Medium Density (RM1) Zone, Special Provision 24.225:

1) Maximum Density	32 units per hectare
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Regulations for Townhouse Dwellings having frontage to Individual Dwelling Units from a Public Road (measurements taken from the Public Road):

1) Lot Area (minimum)	140.0 square metres per dwelling unit
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| 2) | Lot Frontage (minimum) | 7.8 metres per dwelling unit |
| 3) | Exterior Side Yard (minimum)
to a Private Street | 3.5 metres |
| 4) | Rear Yard (minimum) | 4.0 metres |
| 5) | Building Height (maximum) | 12.0 metres |
| 6) | Lot Coverage (maximum) | 62% |
| 7) | Ground Floor Area (minimum) | 55.0 square metres per dwelling unit |

Notwithstanding the minimum required front, exterior side and rear yards, the following encroachments are permitted:

- a) covered porches and stairs are permitted to encroach a maximum of 2.75 metres into the minimum required rear yard; and
- b) balconies shall be permitted to encroach a maximum of 1.8 metres into the minimum required front yard.

Regulations for Townhouse Dwellings having frontage to Individual Dwelling Units from a Private Street (measurements taken from the Private Street):

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|----|-----------------------------|---------------------------------------|
| 1) | Lot Area (minimum) | 160.0 square metres per dwelling unit |
| 2) | Lot Frontage (minimum) | 5.8 metres per dwelling unit |
| 3) | Front Yard (minimum) | |
| | - to front of dwelling | 5.0 metres |
| | - to garage | 6.0 metres |
| 4) | Lot Coverage (maximum) | 50% |
| 5) | Ground Floor Area (minimum) | 75.0 square metres per dwelling unit |

Notwithstanding the minimum required front, exterior side and rear yards, the following encroachments are permitted:

- a) unroofed, unexcavated, unenclosed decks and stairs attached to the main building are permitted to encroach a maximum of 4.5 metres into the minimum required rear yard."

Holding Symbol

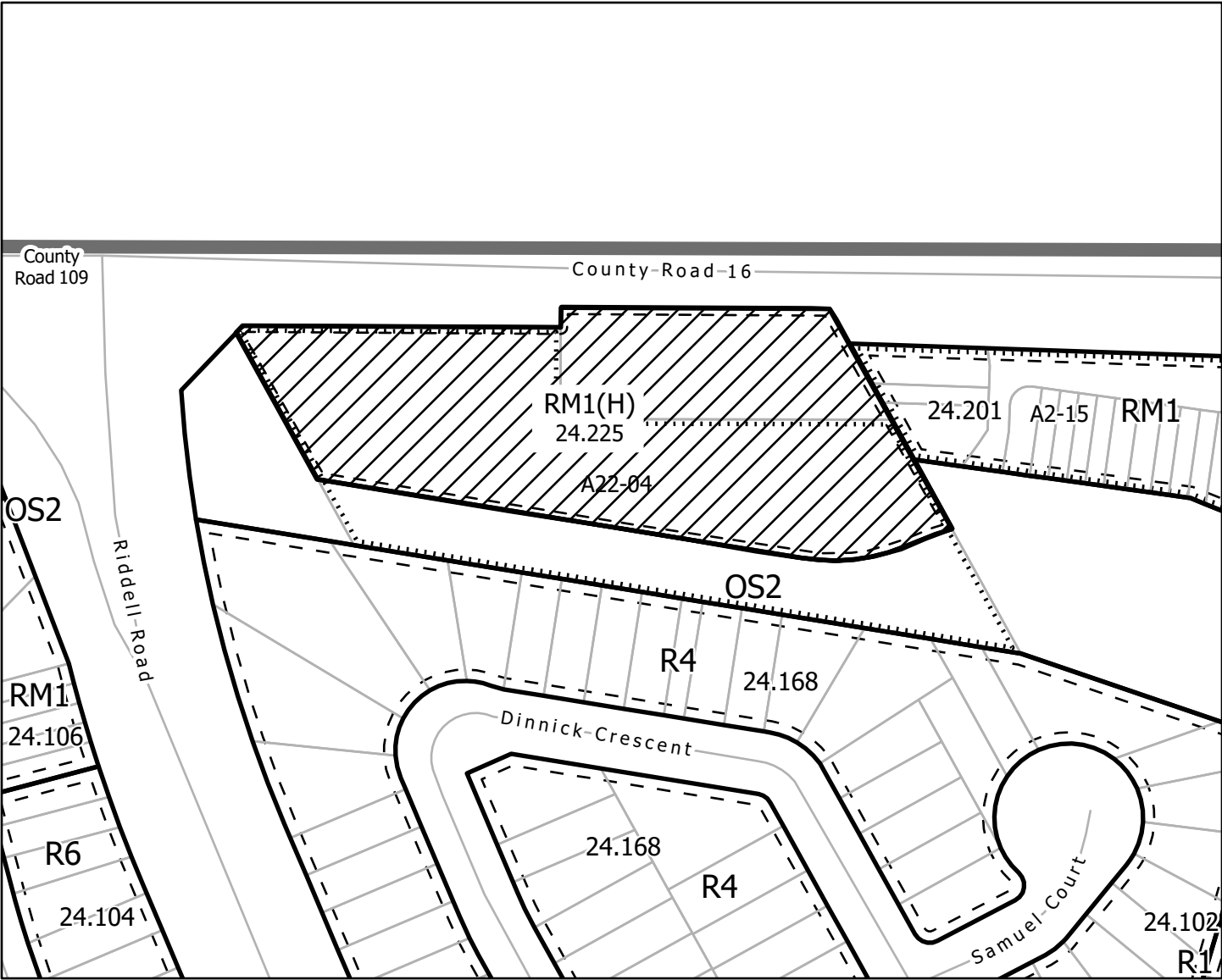
The Holding Symbol (H) shall only be removed from all or a portion of the lands when the Town is satisfied that:

- 1) there is sufficient water supply and sewage treatment capacity to service the development or portion thereof as the case may be.

Passed in open Council this 14th day of December, 2020.

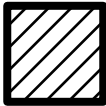
Sandy Brown, Mayor

Karen Landry, Clerk



The Corporation of The Town of Orangeville
Schedule 'A' Town of Orangeville Zoning By-law 22-90

Schedule **"A"** to by-law
Passed the _____ day of _____

 Lands to be rezoned from
Development (D) Zone to Multiple
Residential Medium Density (RM1)
(H) Zone, S.P. 24.225

Mayor

Clerk