

PROPERTY LINE

BUILDING SETBACKS

LANDSCAPING SETBACKS

CONC. CURB

CONC. CURB & GUTTER

WATER MAIN

SANITARY SEWER

STORM SEWER

WEAVING TILE

MANHOLE

CATCH BASIN

CATCH BASIN/MANHOLE

FIRE HYDRANT

EXISTING ELEVATION

NEW ELEVATION

SWALE

SLOPE

HYDRO POLE

WALL-PACK LIGHT FIXTURE

LIGHT STANDARD

OVERHEAD HYDRO

BELL TELEPHONE

GAS LINE

RELOCATED DRIVE WAY LIGHTS

NEW DRIVE WAY LIGHTS

BOREHOLE

TEST PIT

BARRIER FREE PARKING SPACE

LEGAL DESCRIPTION

11A YORK STREET, TOWN OF ORANGEVILLE, COUNTY OF DUFFERIN

SITE INFORMATION WAS BASED ON SURVEY PREPARED BY VAN HARTEN SURVEYING INC.

SITE DESCRIPTION

ZONING (NEW): RESIDENTIAL (R5), AND OPEN SPACE (OS2) WITHIN 30M SETBACK FROM CENTERLINE OF CREEK

BUILDING CLASSIFICATION

OCCUPANCY: RESIDENTIAL

CLASSIFICATION: C

BUILDING STATISTICS

GROSS FLOOR AREA (GFA)

EXISTING 213.54 m² 2,298 S.F.

PROPOSED 166.5 x 12 1,792 x 12 21,504

GFA - TOTAL 21,504

NUMBER OF PARKING SPACES REQUIRED

PARKING REQUIREMENT: 2 SPACES / DWELLING VISITOR = 0.25 / DWELLING = 24 SPACES

TOTAL PARKING SPACES PROVIDED: 27 SPACES

TYPICAL PARKING SPACE: 2.7m x 5.5m

LOADING SPACE REQUIREMENT: N/A

SITE STATISTICS

EXISTING R2 REQUIREMENTS R5 REQUIREMENTS R5+SP24.XXX PROPOSED

LOT AREA: 216.0m² 180m²/DWELLING 180m²/DWELLING 247.8m²/DWELLING

LOT FRONTAGE (MIN): 20 m 6m/DWELLING 6m/DWELLING 6m/DWELLING

LANDSCAPED OPEN SPACE - % - % - % 46 %

LOT COVERAGE (MAXIMUM) - % - % - % 50.2 %

FRONT YARD SETBACK (MIN): 6 m 4.5 m 4.5 m 4.5 m

SIDEYARD SETBACK (MIN): HALF HT OF BLDG 1.5 m 1.5 m 1.5 m 1.5 m

REARYARD SETBACK (MIN): 10.0 m 7.0 m 5.5 m 5.5 m

LANDSCAPE BUFFER: N/A N/A N/A 3.0 m

LOT DEPTH: N/A N/A 87.9 m (VARIES) 9 m

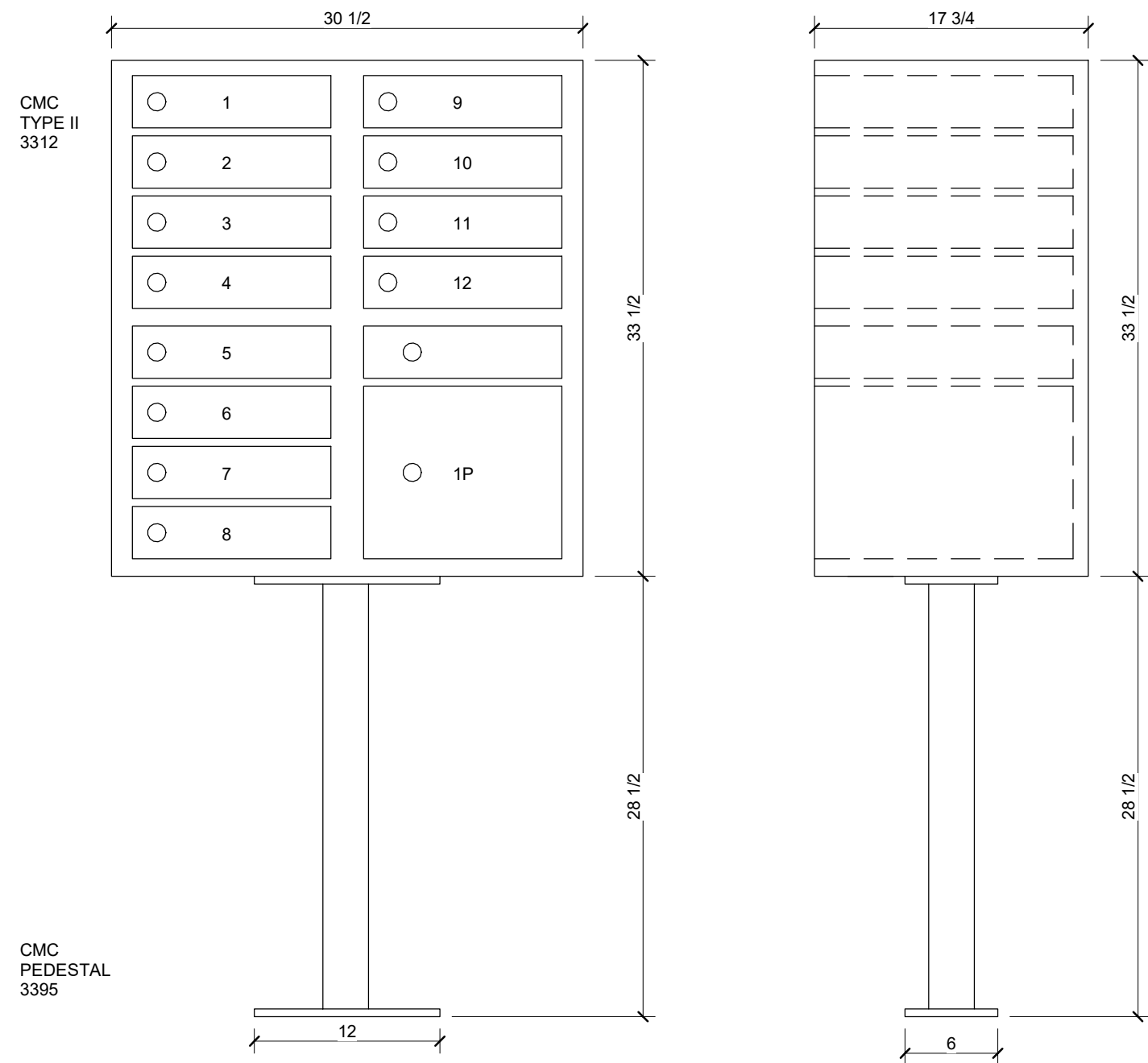
BUILDING HEIGHT (MAX): 9.2 m 9.2 m 9 m 9 m

DENSITY: 49 UNITS/HA 49 UNITS/HA 49 UNITS/HA 41 UNITS/HA

*SPECIAL PROVISION

SITE LEGEND
1 : 1

SITE INFORMATION
1 : 10

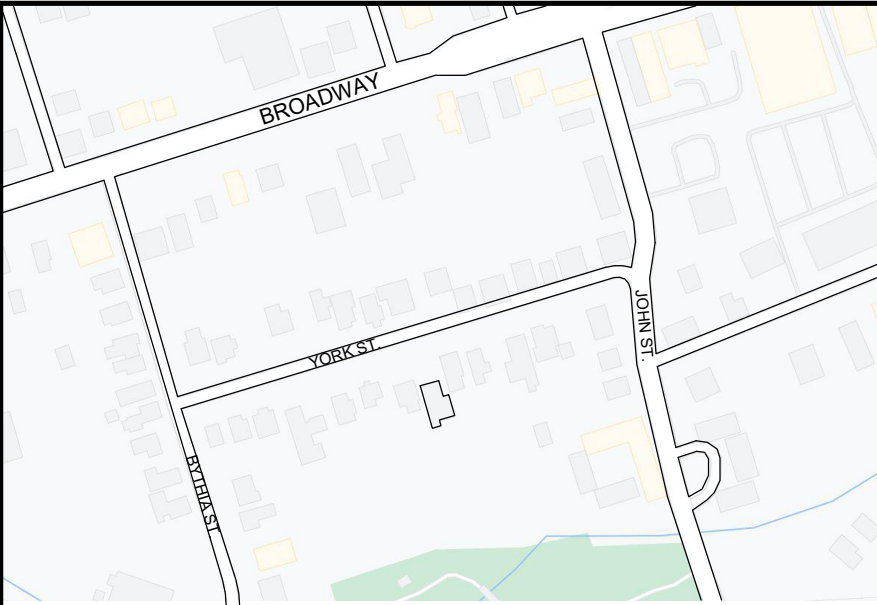
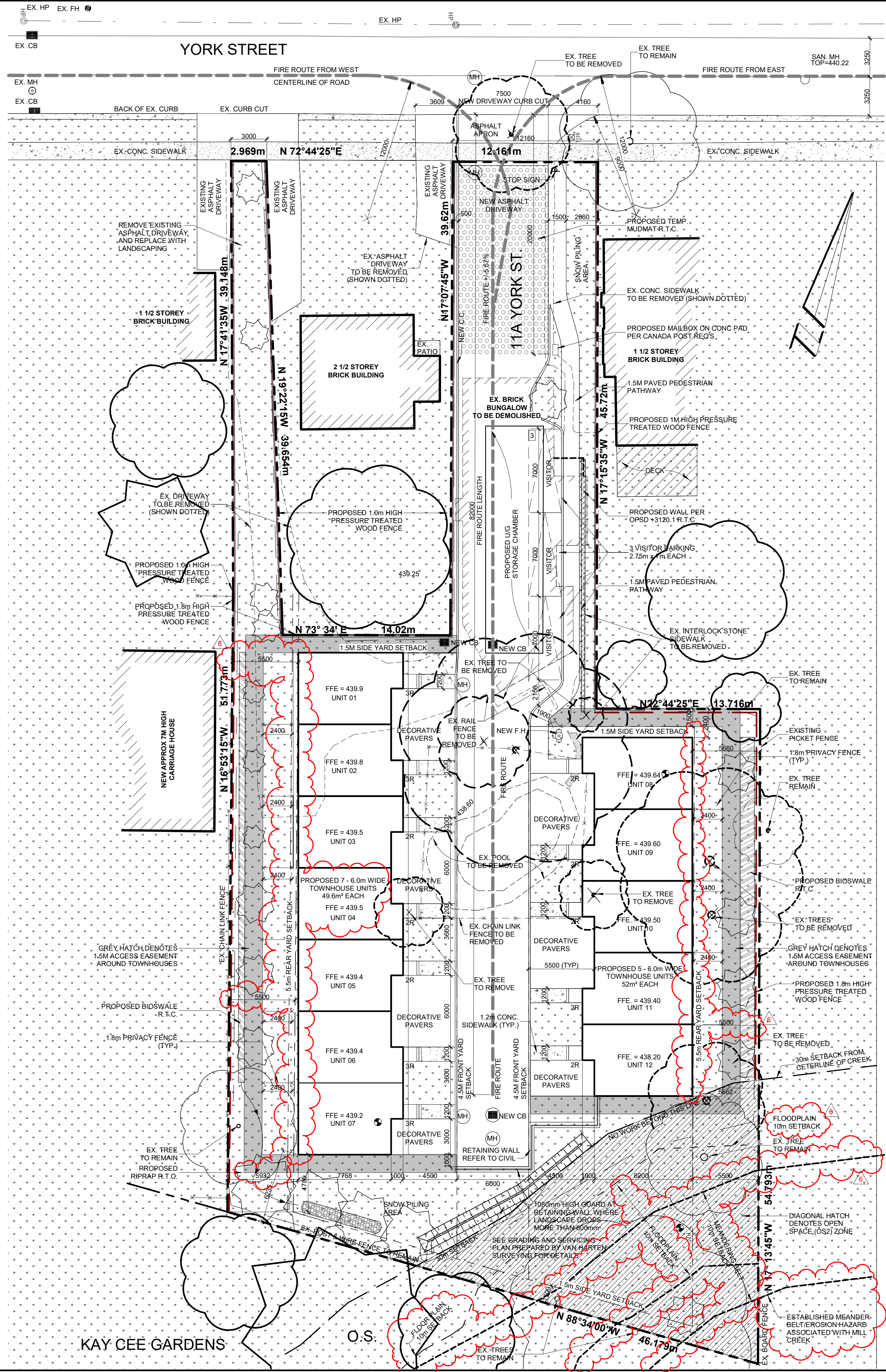


* FINAL MAILBOXES TO BE DETERMINED DURING SPA PHASE IN COORDINATION WITH CANADA POST

Mailbox Details
1 : 10

	HARDSURFACE AREA	LANDSCAPE AREA
EXISTING CONDITION	642.0m ²	2317.0m ²
FUTURE DEVELOPMENT	1595.5m ²	1363.5m ²

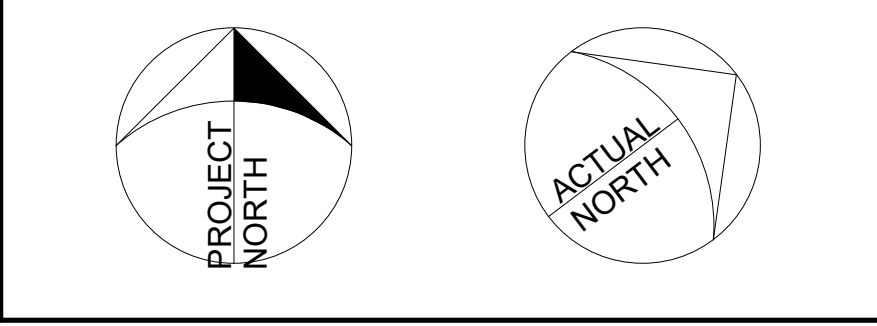
SITE PLAN
1 : 200



KEY MAP
N.T.S.

NOTES:
1. SITE PLAN TO BE READ IN CONJUNCTION WITH GRADING AND SITE SERVING PLANS PREPARED BY VAN HARTEN SURVEYING, DECEMBER 19, 2023
2. GARBAGE COLLECTION: PRIVATE

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No.	Description	Date
6	REISSUED FOR OPA/ZBA	2025.03.28
5	REISSUED FOR OPA/ZBA	2025.02.14
4	REISSUED FOR OPA & ZBA	2024.11.08
3	REISSUED FOR OPA & ZBA	2023.03.22
2	ISSUED FOR OPA & ZBA	2023.12.21
1	ISSUED FOR PRECONSULTATION	2023.11.03



CONSULTANT

PROJECT **TOWNHOUSE UNIT FOR PARKVIEW ESTATES**
ORANGEVILLE 11A YORK STREET ONTARIO
SHEET TITLE
CONCEPTUAL SITE PLAN

PROJ. NO.	21-124
DATE	MARCH 2025
DRAWN BY	JM
CHECKED	MH
SCALE	As indicated
DATE PLOTTED	2025-03-27 4:06:41 PM
DRAWING NO.	A1.0